

**DUNDEE VILLAGE PLANNING COMMISSION
SPECIAL MEETING MINUTES
7:30 P.M.
July 17, 2013**

1. CALL TO ORDER

The Honorable Chairman, Dale Williams, called the meeting to order at 7:30 p.m.

2. ROLL CALL

Members present: Janet Bunch, Joe Fenner, Kevin Bauer, Dale Williams, Paul Scott, Ron Phillips

Members absent / excused: Chris Vandercook.

3. APPROVAL OF AGENDA

Motion made by Commissioner Bunch to approve agenda,
Motion seconded by Commissioner Bauer.

All Planning Commission members in attendance voted in favor of approving the agenda.

4. APPROVAL OF MINUTES

Motion made by Commissioner Fenner to approve meeting minutes for July 1, 2013.

Motion seconded by Commissioner Bunch.

All Planning Commission members in attendance voted to approve meeting minutes for July 1, 2013.

5. CITIZENS' COMMENTS ON NON-AGENDA ITEMS – None

6. PUBLIC HEARING - None

7. OLD BUSINESS – None

8. NEW BUSINESS

a. Amendment to Section 3.20.05 (Fences in the Residential Districts and Manufactured Housing Communities).

- Dundee Village Manger presented the proposed amendment to Section 3.20.05 (Fences in the Residential Districts and Manufactured Housing Communities). See attached documents concerning citizen request and proposed amendment prepared by Village Office.

- Various comments/questions from Commissioners.
- Citizen comments: None.

Motion made by Commissioner Scott to recommend to Village Council to approve amendment to Zoning Ordinance Section 3.20.05 (Fences in the Residential Districts and Manufactured Housing Communities), as outlined in attached memo from Village Manager, dated July 9, 2013.

Motion seconded by Commissioner Fenner.

Roll Call Vote: Janet Bunch-Yes, Joe Fenner-Yes, Kevin Bauer-Yes, Dale Williams-Yes, Paul Scott-Yes, Ron Phillips-Yes.

9. ZONING BOARD OF APPEALS REPORT –.

- None.

10. STAFF REPORT/PROJECT PROGRESS REPORT

- Report on Dollar General Store

11. COMMISSIONER COMMENTS: None

12. ADJOURNMENT 7:46 P.M.

Motion to adjourn made by Commissioner Bunch. and supported by Commissioner Bauer.

All members in attendance voted in favor of adjourning the meeting.

Next Meeting: August 5th, 7:00 p.m.

William & Joyce Melick

286 Penfield St. Dundee, MI 48131
734-529-3665

June 25, 2013

Dundee Planning Commission
350 W. Monroe St.
Dundee, MI 48131

To Whom It May Concern:

We request to be added to the agenda of the meeting scheduled for Monday, July 1st.

This is concerning Village of Dundee Zoning Ordinance 3.20.05 (b).

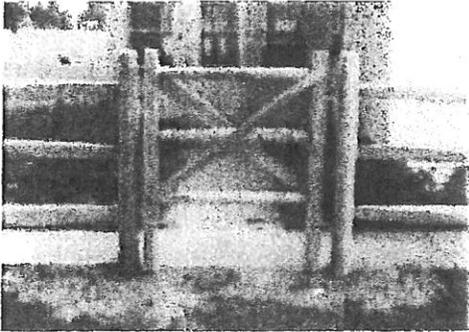
Sincerely,

William Melick
Joyce Melick

William & Joyce Melick

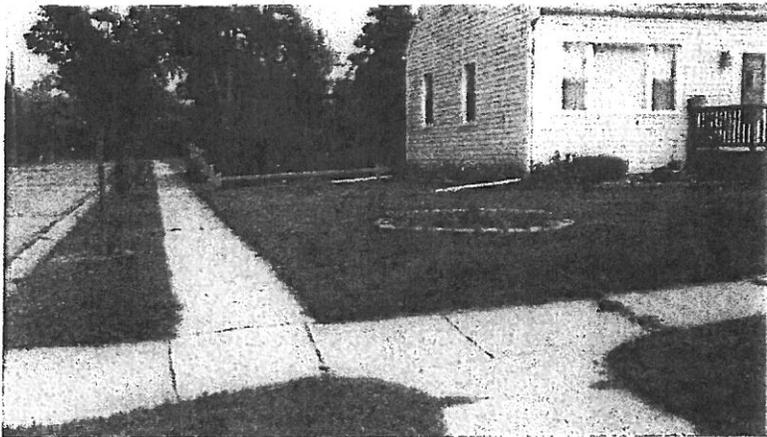
Village of Dundee Zoning Ordinance 3.20.05 (b) Fences located in the required and non-addressed (secondary) front yard of a corner or through-lot shall be set back from the property line as follows:

- No less than 10 feet for fences up to 4 feet in height and shall comply with the definition of a non-privacy fence.



Please change the above referenced Ordinance. Corner-lots in Dundee Village are each different and should be treated as such. Requiring all classified corner-lots to set back their fences 10 feet from their property line is not fair.

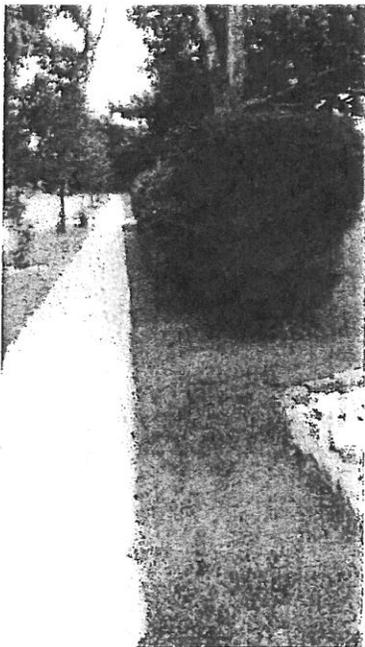
We would like to install a non-privacy, 4 foot, split rail fence, with galvanized steel mesh at our property located at 286 Penfield St. The purpose is to keep the neighborhood dogs from entering our yard and terrorizing our dogs that are tied-up.



First, we disagree with our backyard being a "non-addressed (secondary) front yard." Our lot is a corner-lot, however, the area we want to fence in is clearly our backyard.

Second, placing this fence 10 feet in from the sidewalk is extreme. There are multiple corner-lot properties in Dundee with new fence constructions 1 foot from their sidewalks, and in some cases less than that. The fencing companies we have received bids from each stated the City of Monroe requires fences to be at least 1 foot from their sidewalks.

Third, from this photo you can clearly see that there will be no obstruction of view; especially since it will be over 50 feet from the corner intersection. And we will be removing the 6 foot bushes and replacing it with a see-through 4 foot fence. This is a low traffic area with a four-way stop.



Our recommendation is to change Dundee's fencing ordinance to ensure requirements of "clear vision zones" are met.

New Copy:

Fences located in the required and non-addressed (secondary) front yard of a corner or through-lot shall be set back from the village street curb as follows:

- No less than 10 feet for fences up to 4 feet in height and shall comply with the definition of a non-privacy fence.
- No less than 25 feet from street corner intersection point.

William & Joyce Melick 6/25/2013



350 Monroe Street
Dundee, Michigan
48181
734-529-3430

MEMO

TO: Village President & Council Trustees
FROM: Julius Suchy, Village Manager
DATE: July 9, 2013
RE: Amendment to Section 3.20.05 (Fences in the Residential Districts and Manufactured Housing Communities)

At their July 1, 2013 meeting the Planning Commission requested that staff provide a recommendation on an amendment to the Zoning Ordinance regarding fences in residential districts. After researching other communities it seems Dundee is the only community that has a tiered distance approach to the side yard fence setback.

Section 3.23 Site: Visibility at Intersections addressed corner lots and the location of fences and what needs to be done to allow for clear unimpeded views. This section will allow the staff to review fence permits and deny them if they create a safety hazard related to turning traffic at an intersection.

Section 3.23 - "On a corner lot in any zoning district, no fence, wall, hedge, screen, structure, or planting shall be placed in such manner as to materially impede the vision between the height of two and one-half (2 ½) and ten (10) feet above the centerline grades of the intersecting streets in the area bounded by the street right-of-way lines of such corner lots and the joining points along said street lines twenty (20) feet from their point of intersection as measured along the street right-of-way lines. The same shall apply for fencing abutting detached garages located in non-addressed side of a corner lot."

The current ordinance reads as follows (Changes highlighted in yellow):

- (a) Fences located in the required and addressed front yard shall be setback from the property line no less than 4 feet for fences up to 3 feet in height and are intended to be decorative.
- (b) Fences located in the required and non-addressed (secondary) front yard of a corner or through-lot shall be setback from the property line as follows:
 - No less than 4 feet for fences up to 3 feet in height and are intended to be decorative.
 - No less than 10 feet for fences up to 4 feet in height and shall comply with the definition of a non-privacy fence.
 - No less than 15 feet for fences up to 5 feet in height and shall comply with the definition of a non-privacy fence.
 - No less than the front yard setback required within the zoning district for fences up to 6 feet in height and shall comply with the definition of a privacy fence.

- (c) *Fences located in the side and rear yards shall have a maximum height of six (6) feet and may be located on the property line assuming the front yard fencing requirements are satisfied.*
- (d) *Residents are encouraged to utilize ornamental materials, including but not limited to materials such as wrought iron, brick, stone, and similar replications of these materials, such as vinyl fencing that has the appearance of one of these materials.*
- (e) *Fencing materials shall be all weather, zero maintenance, and/or no less than forty (40) grade treated wood.*
- (f) *Chain link or similar fencing is permitted everywhere except when street facing (parallel to the road). However, up to a four (4) foot tall chain link or similar fencing may be street facing when located the greater of behind the front corner of the house/detached garage or twenty-five (25) feet from the road right-of-way.*
- (g) *The finished side shall face outward toward adjacent property or right-of-way.*
- (h) *No fencing shall be permitted within the front corner clear zone (see Section 3.22). The same clear zone shall apply for solid fences abutting detached garages located on the non-addressed frontage of a corner lot (see Section 3.22).*

The new ordinance would read as follows:

- (a) *Fences located in the required and addressed front yard shall be setback from the property line no less than 1 foot for fences up to 3 feet in height and are intended to be decorative.*
- (b) *Fences located in the required and non-addressed (secondary) front yard of a corner or through-lot shall be setback from the property line no less than 1 foot. Fences shall comply with the definition of either a non-privacy or privacy fence.*
- (i) *Fences located in the side and rear yards shall have a maximum height of six (6) feet and may be located on the property line assuming the front yard fencing requirements are satisfied.*
- (j) *Residents are encouraged to utilize ornamental materials, including but not limited to materials such as wrought iron, brick, stone, and similar replications of these materials, such as vinyl fencing that has the appearance of one of these materials.*
- (k) *Fencing materials shall be all weather, zero maintenance, and/or no less than forty (40) grade treated wood.*
- (l) *Chain link or similar fencing is permitted everywhere except when street facing (parallel to the road). However, up to a four (4) foot tall chain link or similar fencing may be street facing when located the greater of behind the front corner of the house/detached garage or twenty-five (25) feet from the road right-of-way.*
- (m) *The finished side shall face outward toward adjacent property or right-of-way.*
- (n) *No fencing shall be permitted within the front corner clear zone (see Section 3.22). The same clear zone shall apply for solid fences abutting detached garages located on the non-addressed frontage of a corner lot (see Section 3.22).*

Requested Action: Recommendation to Village Council to approve amendment to Zoning Ordinance Section 3.20.05 Fences in the Residential Districts and Manufactures Housing Communities.