

ARTICLE 18

BUILDING DESIGN STANDARDS

Section 18.01 Intent.

The intent of these regulations is to provide specific design guidelines that achieve the following:

- 18.01.01 Encourage development and redevelopment that protects and enhances the traditional small-town character, fits within the traditional urban form and creates a character that reinforces a sense of community identity;
- 18.01.02 Encourage a form of development that will achieve the physical qualities necessary to maintain and enhance the economic vitality of the various business districts, maintain the desired character of the Village, prevent the creation of blight and protect property values;
- 18.01.03 Promote the preservation and renovation of historic buildings and sites; and ensure new buildings are compatible with, and enhance the character of, the Village's cultural, social, economic, and architectural heritage;
- 18.01.04 Implement recommendations of the Master, and subarea plans.

Section 18.02 Applicability.

All uses except one and two family residential shall comply with the design standards of Section 18.03, 18.04, 18.05, and 18.06 under the following circumstances.

- 18.02.01 **New Buildings:** All uses, except one and two family residential, that receive site plan approval for construction of a new building after the effective date of this ordinance shall fully comply with the design standards of this Article. Refer to Section 18.07 for building design standards for one and two family dwellings.
- 18.02.02 **Expansions to Buildings:** For buildings existing prior to the effective date of this ordinance, major building improvements or expansions that require site plan approval may be permitted by the Planning Commission without a complete upgrade to meet the standards of this Article, provided there are reasonable improvements to the building in relation to the scale and construction cost of the building improvements or expansion. Major exterior renovations shall be consistent with the building design standards herein to the extent deemed practical.
- 18.02.03 **Minor Improvements to Buildings:** For buildings existing prior to the effective date of this ordinance, minor changes, improvements, and modifications that are approved administratively shall be permitted, provided the improvements shall not increase noncompliance with the requirements of this Article.

Section 18.03 Exterior Wall Design Standards.

18.03.01 **Wall materials.** The use of exterior wall materials on walls that are visible from a public road or a parking lot shall be in compliance with the maximum percentages permitted in the “Schedule of Regulating Exterior Building Wall Materials.”

Table 18.1							
Building Materials	Maximum Percent of Wall That May be Covered by Certain Building Materials by Zoning District (a,b)						
	RM-1 RM-2	RO	B-1(g)	B-2	B-3	B-4	M-1 M-2
Brick or face brick(e)	100 %	100 %	100%	100%	100%	100%	100 %
Stone	100 %	100 %	10%	50%	50%	50%	100 %
Split face block	50 %	25 %	25%	50%	(e)	50%(f)	100 %
Cast stone	100 %	100 %	10%	50%	50%	25%	100 %
Precast concrete	Not Permitted	25 %	Not Permitted	50%	(e)	25%	75 %
Concrete formed in place	Not Permitted	25 %	Not Permitted	50%	(e)	25%	75 %
Metal (c)	Not Permitted	25 %	Not Permitted	25%	Not Permitted	25%	75 %
Reflective glass	Not Permitted	50%	Not Permitted	Not Permitted	Not Permitted	Not Permitted	50 %
Glass block	25 %	25 %	25 %	25%	Not Permitted	25%	25%
Wood siding	75 %	50 %	Not Permitted	50%	25%	25%	Not Permitted
Vinyl siding	50 %	50 %	Not Permitted	Not Permitted	25%	Not Permitted	Not Permitted
Finishes (d)	25 %	25 %	Not Permitted	50%	25%	25%	50%

- (a) Does not include areas of façade consisting of doors and windows.
- (b) All walls exposed to public view from the street or an adjacent residential area shall be constructed of not less than seventy-five (75%) brick, face brick, stone or cast stone.
- (c) Flat sheets and seamed or ribbed panels, including aluminum, porcelain and stainless steel and similar material. Such materials shall not be used where contact with vehicles may occur, such as parking areas, traffic ways, and loading areas, unless such walls are adequately protected to prevent damage.
- (d) Includes fiberglass, reinforced concrete, polymer plastic (fypon), exterior insulation and finishing systems (EIFS), plaster, stucco and similar materials. Such materials shall not be used where contact with vehicles may occur, such as parking areas, traffic ways, and loading areas, unless such walls are adequately protected to prevent damage.

- (e) Concrete masonry is only permitted on the rear façade in the B-3 District and shall not exceed 50% coverage upon approval by the Planning Commission.
- (f) A maximum coverage of 50% split faced concrete block is permitted in the B-4 District only upon special approval from the Planning Commission where the applicant demonstrates special conditions that limit use of other materials and demonstration that other site and building design enhancements are provided.
- (g) Compliance with the Village of Dundee Façade Study is required.

18.03.02 **Allowance for other materials.** The Planning Commission may waive strict compliance with the Section 18.03.01 when the following qualities can be demonstrated. Review and consultation by the appropriate design professional is encouraged before a final determination is made. The proposed building design and materials schedule shall be accompanied by a written design statement which shall describe how the selected wall materials and material combinations will be consistent with and enhance the building design.

- (a) The design and materials are found to be in keeping with the character and history of the Village.
- (b) The materials are found to be permanent and durable.
- (c) The design and materials are compatible with the type of use and development proposed.
- (d) The design and materials can easily be adapted to another use in the future.
- (e) The design and materials meet the intent of this Article.

18.03.03 **Mixture of materials.** The application of these standards should promote integration and mixture of materials where more than one (1) material is used on a building. If only one (1) material is used, architectural detailing and articulation, massing, texture and form must be introduced into the building design. Building roof materials should be in harmony with the style and material used on the building walls.

18.03.04 **Long walls.** When building walls are one hundred (100) feet or greater in length, design variations must be applied to assure that the building is not monotonous in appearance. Such variations include but are not limited to the following:

- (a) Recess and projections along the building façade. Variations in depth should be a minimum of ten (10) feet.
- (b) Architectural details or features.
- (c) Enhanced ornamentation around building entryways.
- (d) Landscaping.
- (e) Streetscape elements.
- (f) Variations in building height.

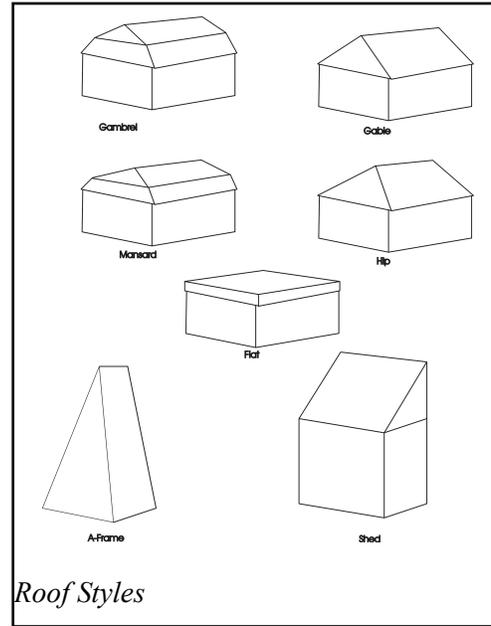
18.03.05 **Colors.** Information on building colors shall be submitted with the site plan and considered to be part of any site plan approval under Article 12. Colors shall be compatible with the surrounding area.

Section 18.04 Roof Design Standards.

18.04.01 **Compatible Design Character.** Roof design and materials are considered to be key elements to the Village character, and thus shall be consistent with the intent of the district. As a part of building design, roofs shall be designed in keeping with the overall architecture of the building.

18.04.02 **Roof Materials.** The following regulations apply to roof materials:

- (a) Asphalt, fiberglass, tile, slate or cedar shingles may be used in all districts.
- (b) Standing seam metal roof systems shall be permitted only in the RO, B-2, B-3, B-4, M-1, and M-2 districts.
- (c) In the M-1 and M-2 Districts, asphalt, fiberglass, tile, slate, cedar or standing seam metal roofing is permitted.
- (d) Asphalt shingles shall be heavily textured with colors that are compatible with the building architecture.
- (e) When permitted, the color of standing metal seam roof systems shall be subtle and compatible with exterior building materials.



18.04.03 **Roof Style in the RM-1, RM-2 and B-3 Districts.** These districts are intended to maintain a residential character in the Village and to be compatible with nearby single family neighborhoods. To meet this intent the following roof style elements are required:

- (a) Pitched roofs shall be required.
- (b) All roofs shall be gambrel, hip or gable roof styles.
- (c) The slope of the roof shall not be less than 9 on 12.
- (d) Additional roofline treatments are encouraged and may be required by the Planning Commission in order to minimize the mass of the roof and in order to promote the residential character. These treatments include, but are not limited to offset rooflines, dormer windows, cupolas, additional accent gables and covered entryways.

18.04.04 **Roof Style in the B-1 District.** New building construction shall blend with the existing established building line of the Central Business District. The buildings shall be a minimum of two stories or have the appearance of multiple stories. Roofs shall be flat with decorative cornices, in keeping with the historic architecture of the Central Business District. An enclosure must be provided that is at least forty-two (42) inches high to screen rooftop mechanical equipment.

18.04.05 **Roof Style in the B-2, B-4, M-1, and M-2 Districts.** New building construction in these districts should attempt to emulate the design character and history of the Village. At the same time, the buildings shall accommodate the types of uses and sites proposed. As such, the following roof styles are required:

- (a) A pitched roof is required.
- (b) The slope of the roof shall be at least 9 on 12.
- (c) Additional roofline treatments are encouraged and may be required by the Planning Commission in order to minimize the mass of the roof and in order to promote the residential character. These treatments include, but are not limited to dormer windows, cupolas, additional accent gables and covered entryways.
- (d) The Planning Commission may allow a flat roof if it is consistent with the design standards of Section 18.04.04.

18.04.06 **Screening Rooftop Equipment.** Rooftop equipment shall be screened from view of adjacent properties and public rights-of-way. The method to screen rooftop equipment shall be compatible with the building through color, scale, materials, and architectural style. The Planning Commission may require cross-section details to confirm compliance.

Section 18.05 Fenestration in the RO, B-1, B-2, B-3 and B-4 Districts.

18.05.01 Windows and doors shall comprise at least forty percent (40%) of the first floor front facade of a building.

18.05.02 The window area of a facade above the first floor shall not exceed thirty-five percent (35%) of the total facade area of that floor.

18.05.03 Windows above the first floor shall be vertical in proportion. Large windows shall be broken-up to maintain a vertical proportion.

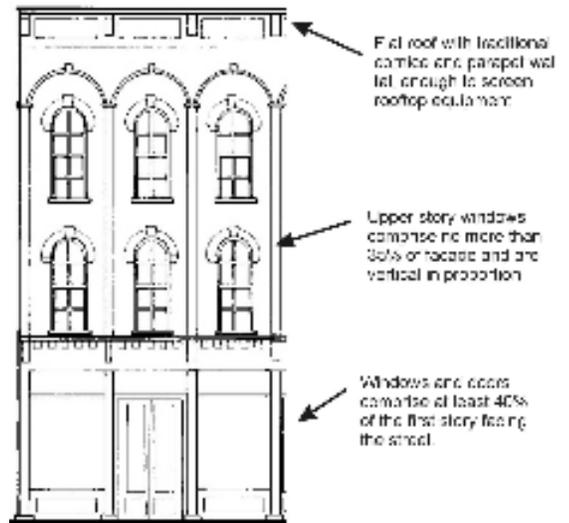
18.05.04 Window areas shall be non-reflective glass and clear or lightly tinted in color.

18.05.05 Double or fixed hung windows shall be used in all retail applications.

18.05.06 Sliding windows and doors shall not be permitted in the B-1 District.

18.05.07 The window encasement shall not have exposed metal in the B-1 District.

18.05.08 Window areas shall not be permanently blocked in a manner that obstructs views into the buildings, such as shelving, unless it is used as a display case for products sold on-site.



Section 18.06 General Building Design Accent Standards.

- 18.06.01 **Front Facade.** Blank walls shall not face a public street. Walls facing a public street shall include windows and architectural features customarily found on the front facade of a building, such as awnings, cornice work, edge detailing or other decorative finish materials. A prominent and usable public building entrance shall be provided at the front of the building. Wall massing shall be broken up with vertical pilasters or other architectural elements to reduce scale.
- 18.06.02 **Pedestrian Orientation.** Buildings shall be designed at a pedestrian scale with relationship to the street and sidewalk. Buildings shall include windows that face the sidewalk and street. Convenient and safe pedestrian access shall be provided between the public sidewalk and the building entrance.
- 18.06.03 **Awnings.** Awnings with straight sheds may supplement facades. Awnings shall not be cubed or curved except over doorways. Awnings shall be of an opaque material. Translucent or internally lit awnings shall not be permitted.
- 18.06.04 **Canopies.** Canopies, such as over gasoline pumps or drive-through structures, shall be designed to be consistent with the approved building materials and colors. Support columns shall be brick or materials compatible with the principal structure. The Planning Commission or Village Manager may require a peaked roof to complement the principal building. Any canopy lighting shall be flush with the canopy.
- 18.06.05 **Neon.** Exposed neon shall not be permitted on a building.
- 18.06.06 **Quality and workmanship.** This Article is not intended to regulate the quality, workmanship and requirements for materials relative to strength and durability.

Section 18.07 Building Design Standards for One-Family and Two-Family Dwelling Units.

The following are building design standards for one-family and two-family dwelling units.

- 18.07.01 **Applicability.** The regulations of this Section apply to one-family and two-family dwelling unit construction under the following circumstances:
- a. **New Dwellings:** All new one-family and two-family dwelling construction that requires a building permit after the effective date of this ordinance shall fully comply with the design standards of this Section.
 - b. **Expansions to Dwellings:** For dwellings existing prior to the effective date of this ordinance, major improvements or expansions that require a building permit may be permitted without a complete upgrade to meet the standards of this Section. Reasonable improvements are required in relation to the scale and construction cost of the project. Major exterior renovations shall be consistent with the building design standards herein to the extent deemed practical.
 - c. **Minor Improvements to Dwellings:** For dwellings existing prior to the effective date of this ordinance, minor changes, improvements, and modifications that require a

building permit shall not be required to comply with this Section, provided the improvements shall not increase noncompliance with the requirements of this Section.

- 18.07.02 **Intent.** The purpose of this Section is to establish standards and regulations governing the location and appearance of one-family and two-family dwelling units in the Village of Dundee that are either developed as a new neighborhood or as in-fill housing in an existing neighborhood. It is the intent of these regulations to allow a mix of housing types and living styles in a manner that will not adversely affect existing neighborhoods. For this reason, standards have been set that will regulate the appearance of one-family and two-family dwellings, allowing only those that are compatibly similar in appearance to houses on individual lots in all zoning districts that allow one-family and two-family residences. These regulations shall not apply to one-family dwellings located within a state licensed manufacturing housing community.
- 18.07.03 **Permits:** Prior to the construction or installation of a one-family or two-family dwelling unit on a residential lot, the individual shall obtain a building permit from the Building Official.
- 18.07.04 **General Appearance and Site Standards.** To ensure the compatibility in appearance of one-family and two-family dwelling units, such units shall meet the following design and site standards:
- (a) Shall be constructed to the most current State or Federal Building Standards. These include the Michigan Construction Code Act of 1972 (Act 230, P.A. 1972, as amended) and the National Manufactured Housing Construction and Safety Standards Act of 1974, as amended.
 - (b) Have a minimum dimension of twenty (20) feet.
 - (c) The gross floor area and lot coverage of any proposed one-family or two-family dwelling unit shall comply with the standards set forth in Table 5.02 Residential Schedule of Areas and Bulk Requirements. To ensure that neighboring dwellings are compatible in scale and mass, the Village may require units to be not less than 90% and no more than one-hundred and thirty five percent (135%) of the average floor area and lot coverage of other one-family or two-family dwelling units within three hundred (300) feet of the subject lot, including dwelling units on both sides of the street of the same block.
 - (d) Have two (2) exterior doors (front and rear, or front and side), and where there is a difference in ground elevation, steps must be permanently attached, on a frost depth foundation, either to the perimeter wall, as outlined in (f) below, or to porches connected to the perimeter wall.
 - (e) Have a roof with a minimum 4:12 pitch and minimum eight inch (8") eave, and with a drainage system that will collect and concentrate the discharge of storm water or snow away from the sides of the dwelling. The roof shall have wood shake, asphalt or other acceptable shingles, and meet the snow load standards for this portion of the State of Michigan.
 - (f) Have an exterior finish architecturally compatible to that of other similar homes in the surrounding area.

- (g) Shall be firmly attached to a permanent foundation constructed on the site in accordance with the Village Building Code and shall have a wall of the same perimeter dimensions of the dwelling and constructed of such materials and type as required in the applicable building code for one-family dwellings. In the event that the dwelling is a mobile home, as defined herein, such dwelling shall be installed pursuant to the manufacturer's setup instructions and shall be secured to the premises by an anchoring system or device complying with the rules and regulations of the Michigan Manufactured Housing Commission and shall have a perimeter wall as required above.
- (h) The compatibility of design and appearance shall be determined by the Zoning Enforcement Officer upon review of the plans submitted for a particular dwelling. An aggrieved party may appeal the Zoning Enforcement Officers decision to the Board of Appeals as required by Section 15.05.
- (i) Any determination of compatibility shall be based upon the standards set forth in the definition of dwelling as well as the character, design and appearance of one (1) or more residential dwellings within two thousand (2,000) feet of the subject dwelling provided the surrounding existing dwellings considered are located outside of manufactured housing community. The foregoing shall not be construed to prohibit innovative design concepts involving such matters as solar energy, view, unique land contour, or relief from the common or standard design homes.
- (j) Be connected to a public sewer or water system and/or waste treatment or potable water supply system approved by the Village of Dundee, or other applicable agencies such as the Michigan Department of Environmental Quality.
- (k) All dwelling units shall be oriented toward the public right-of-way such that the facade that faces the street contains a door, windows and other architectural features customary of the front facade of a residence.
- (l) Shall provide concrete sidewalks in accordance with the Village sidewalk policy within the dedicated right-of-way along the frontage length of all parcels. An inclined approach shall be required where sidewalks intersect curbs for barrier free access. The inclined approach shall comply with grades established by MDOT. Required sidewalks may be installed following the construction of the dwelling unit. However, a certificate of occupancy shall not be issued until the sidewalk is installed along the individual lot=s frontages. If the Zoning Enforcement Officer determines that due to weather conditions, sidewalk installation should be delayed, a certificate of occupancy may be issued. In which case, a performance guarantee shall be provided to the Village and the sidewalk shall be installed within six months of issuance of the certificate of occupancy. The Zoning Enforcement Officer shall schedule a follow-up inspection.
- (m) All residential driveways must have a concrete approach and a hard-surfaced driveway of concrete or plant - mixed bituminous material in accordance with specifications of the Village. Approaches shall be six (6) inches thick, concrete, with the sidewalk floating separate from approaches. The minimum asphalt depth for driveways shall be three (3) inches. The minimum concrete depth for driveways shall be four (4) inches. Up to two

- (2) dwellings may be permitted to share a driveway provided it complies with these construction standards.
- (n) The provisions of this section shall not apply to manufactured homes situated in licensed manufactured housing communities.
- (o) Accessory structures shall comply with the standards of Section 3.16 and the building design shall match that of the dwelling on the site.