

Village of Dundee
Downtown Development Authority

Amended and Restated
Development Plan and
Tax Increment Financing Plan

June 1992

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Downtown Development Authority

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Development Plan and
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BACKGROUND AND PURPOSE

Purpose Of The Downtown Development Authority Act

Act 197 of Public Acts of 1975 of the State of Michigan, commonly referred to as the Downtown Development Authority Act, was created in part to correct and prevent deterioration of business districts; to promote economic growth and revitalization; to encourage historic preservation; to authorize the acquisition and disposal of interests in real and personal property; to authorize the creation of downtown development authorities; to authorize the levy and collection of taxes, the issuance of bonds and the use of tax increment financing in the accomplishment of specific downtown development activities contained in locally-adopted development plans.

The Act seeks to attack problems of urban decline, strengthen existing areas and encourage new private developments in the downtown districts of Michigan communities. It seeks to accomplish this goal by providing communities with the necessary legal, monetary and organizational tools to revitalize downtown districts either through public-initiated projects or in concert with privately motivated development projects. The manner in which downtown development authorities choose to make use of these tools does, of course, depend on the problems and opportunities facing each particular downtown district and the development priorities sought by the community in the revitalization of its business area.

Creation of the Dundee Downtown Development Authority

On November 3, 1987, the Village of Dundee Village Council adopted Ordinance 87-1 that created the Dundee Downtown Development Authority (DDA). The Downtown Development Authority District created by this ordinance is illustrated on Map 1 and a copy of the respective Ordinance is included in Exhibit B; Organizational Documentation.

The Authority was given all the powers and duties prescribed for a downtown development authority pursuant to the Act. Further, the operational structure of the Dundee Downtown Development Authority was approved pursuant to its By-Laws adopted May 1992.

Basis For The Tax Increment Finance Plan and Development Plan

The Downtown Development Authority Act provides the legal mechanism for local officials to address the need for economic development in the business district. In Dundee, the Downtown Development Authority District, subject of this Development Plan, can be generally described as incorporating commercial properties along both sides of Tecumseh St. (M-50), Main Street, Riley Street, Park Place, and Monroe Street. The Amended and Restated Development Plan calls for the continuation of the "Development Area" established in 1987 for implementing certain development initiatives and tax increment financing procedures set forth in the Act.

For purposes of designating a development plan district and for establishing a tax increment financing plan, the Act refers to a "downtown district" as being in a business district that is specifically designated by ordinance of the governing body of the municipality and a "business district" as being an area in the downtown of a municipality zoned and used principally for business.

For purposes of financing activities of the Authority within a district, tax increment plans can be established. By definition, a tax increment financing plan seeks to capitalize on and make use of the increased tax base created by economic development within the boundaries of a downtown district. The legal basis or support for the Tax Increment and Development Plans is identified in Act 197 of the Public Acts of 1975, as amended.

This Development Plan and Tax Increment Plan will define projects specific to that portion of the Downtown District created through Ordinance 87-1 and amend the projects and financing outlined in the 1988 Development Plan and Tax Increment Plan adopted by the Dundee Village Council. It is the intent of the Amended and Restated Development Plan and Tax Increment Plan to amend the 1987 Development Plan and 1987 Tax Increment Financing Plan to finance the projects referenced in Table 2.

The Relationship Between Development Plan No. 1 and the Amended and Restated Development Plan.

The Amended and Restated Development Plan describes in Section 4 the Development Area proposed by the Downtown Development Authority for development of specific projects and expenditure of tax increment revenues. This Development Area comprises all the Downtown Development Authority District. Development Plan No. 1 and Tax Increment Plan No. 1 adopted by the Village Council on May 31, 1988, are revised per the Amended and Restated Development Plan and Tax Increment Plan.



GENERAL DEVELOPMENT PLAN FOR DUNDEE

The need for establishing the Development District described in Section 4 (referred to as "Development Area") is founded on the basis that the future success of Dundee's current effort to revitalize its commercial area will depend, in large measure, on the readiness and ability of its public corporate entity to initiate public improvements that strengthen the commercial area and to encourage and participate where feasible in the development of new private uses that clearly demonstrate the creation of new jobs, the attraction of new business, and the generation of additional tax revenues.

The business district within the Development Area can be characterized as an aggregation of different commercial zones that reflect the historic development of the community. Many of the commercial zones within the Village of Dundee have developed along the major traffic corridors including Tecumseh and Monroe Streets (M-50), Riley, and Main Street. The predominant downtown commercial area is recognized as the intersection of Tecumseh, Main and Riley Streets, known locally as the "Hub of the Highways."

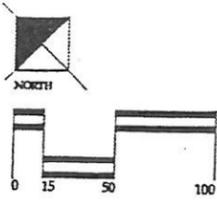
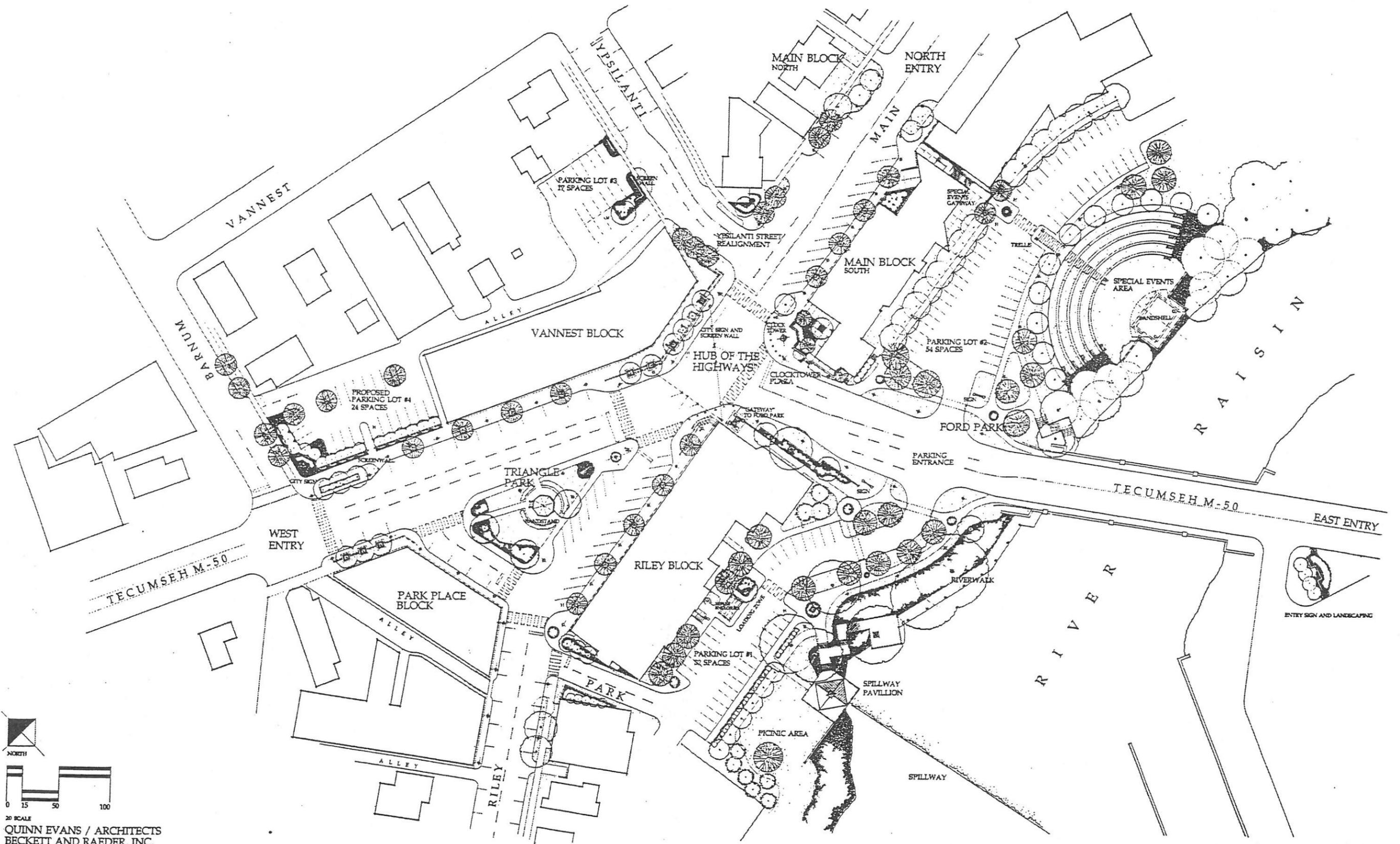
The principal business district is located along commercial properties on both sides of Tecumseh St. (M-50), Main Street, Riley Street, Park Place, and Monroe Street. The area has been the subject of previous redevelopment plans including a study conducted by Quinn Evans / Architects in 1989 known as the Village Center Revitalization Plan; the Downtown Dundee Streetscape Plan prepared in 1992 by Beckett and Raeder, Inc. and Quinn Evans / Architects; and the Tecumseh (M-50) Corridor Plan prepared by Beckett and Raeder, Inc..

Village Center Revitalization Plan - this planning effort resulted in the preparation of a schematic design plan for the Dundee downtown area recommending improvements to Triangle Park, commercial streetscapes, municipal parking lots and riverfront. Further, the Plan incorporated a facade study of existing commercial buildings in the downtown including recommendations for rehabilitation consistent with the Secretary of the Interior guidelines for historic properties; a market reconnaissance study and strategy to enhance local retail efforts; and inventory of commercial building to determine their suitability for incorporation as a National Register District.

Downtown Dundee Streetscape Plan - design development of recommendations in the Village Center Revitalization Plan encompassing details on parking lots, streetscapes, utilities, alleys and riverfront improvement. Furthermore, cost estimates and recommendations for project phasing were delineated.

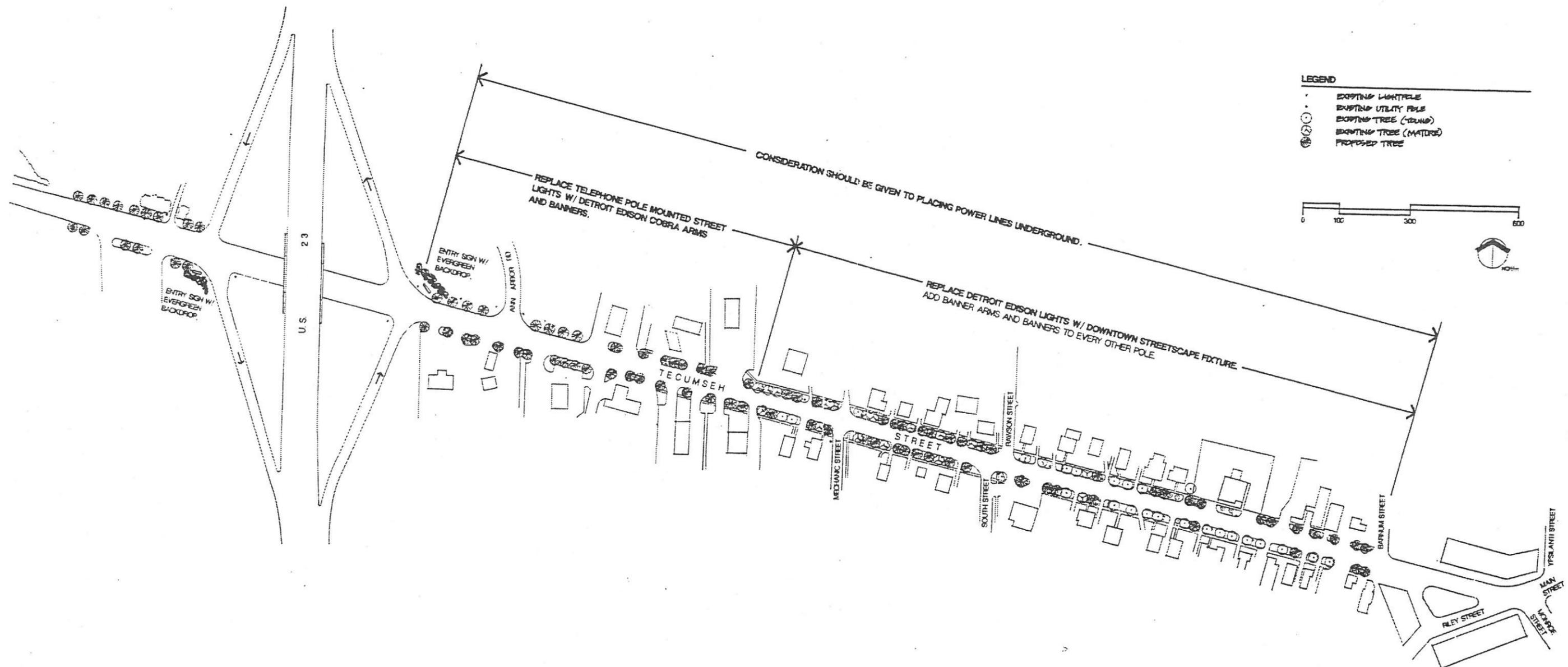
Tecumseh (M-50) Corridor Plan - a master plan for improvements to the Tecumseh Street (M-50) Corridor between Barnum Street and the west Village municipal limits. This plan addresses street plantings, overhead lighting, and signage.

This Development Plan identifies several multi-year public improvement projects within the business district that are components of these planning and development efforts. These projects are illustrated on the map entitled "Development Area Projects".



20 SCALE
 QUINN EVANS / ARCHITECTS
 BECKETT AND RAEDER, INC.

Map/Graphic 2
 Downtown Dundee Streetscape Plan



LEGEND

- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- ⊙ EXISTING TREE (YOUNG)
- ⊙ EXISTING TREE (MATURE)
- ⊙ PROPOSED TREE

0 100 300 600

100'

Map/Graphic 3
 Tecumseh / M-50 Corridor Plan

AMENDED AND RESTATED DEVELOPMENT PLAN

1. Designation of Boundaries of the Development Area

The Development Area boundary is located within the jurisdictional limits of the Village of Dundee and the Village of Dundee Downtown Development Authority. The Village of Dundee established the Downtown Development Authority pursuant to Act 197 of Public Acts of 1975 through adoption and publication of Ordinance 87-1 in 1987. The Downtown Development Authority Development Area boundary is contiguous with the Authority's District as illustrated on Map 1 and can be generally described as incorporating properties commercial properties along both sides of Tecumseh St. (M-50), Main Street, Riley Street, Park Place, and Monroe Street.

2A. Location and Extent of Existing Streets and other Public Facilities

Public land uses, within the Development Area, include right-of-ways under the jurisdiction of the Village of Dundee, County of Monroe, and the State of Michigan (M-50 and US-23). Included within the Development Area are alleys that run parallel with the major streets mentioned above and behind the retail and office land uses fronting on these streets.

2B. Location, Character and Extent of Existing Public and Private Land Uses within the Development Area

Existing land uses within the Development Area are composed of public and private land uses. The locations of these land uses are illustrated on Graphic/Map 4; Land Use Map.

Public Land Uses

In addition to the circulation system described, other public land uses including public parks and municipal parking areas occur within the Development Area. The Village of Dundee owns the Ford Mill and Park which serves as a community recreation center, museum, village council chambers, and outdoor recreation facility and Triangle Park located in the Village Center both of which are located within the Development Area. In addition to these facilities; Village Hall, Dundee Township Office, Dundee Township Fire Hall, and Public Library are located within the Development Area.

Private Land Uses

- A. Residential - There are 38 detached single family dwellings and upper story residential dwellings within the development area.
- B. Commercial - The majority of property within the Development Area consists of commercial property. Due to the configuration of the DDA District there exists three distinct commercial areas which include the historic Village Center area at the intersection of Tecumseh (M-50), Riley and Main Streets; the east Monroe Street commercial area comprised of several small business just east of the River Raisin on M-50; and lastly the highway commercial area at the interchange of M-50 and US-23.

- C. Industrial - There is one industrial land use within the Development Area which includes Yeck Manufacturing.
- D. Transportation - There are no private transportation facilities within the Development Area.

Recreational Uses

Triangle Park bounded by Tecumseh, Riley and Park Place Streets; and Ford Park and Historic Mill are located within the Development Area. The historic Ford Mill contains the Village Council Chambers, community center, and museum.

Educational Uses

The Monroe County Public Library is the only educational land use within the Development Area.

Vacant Land

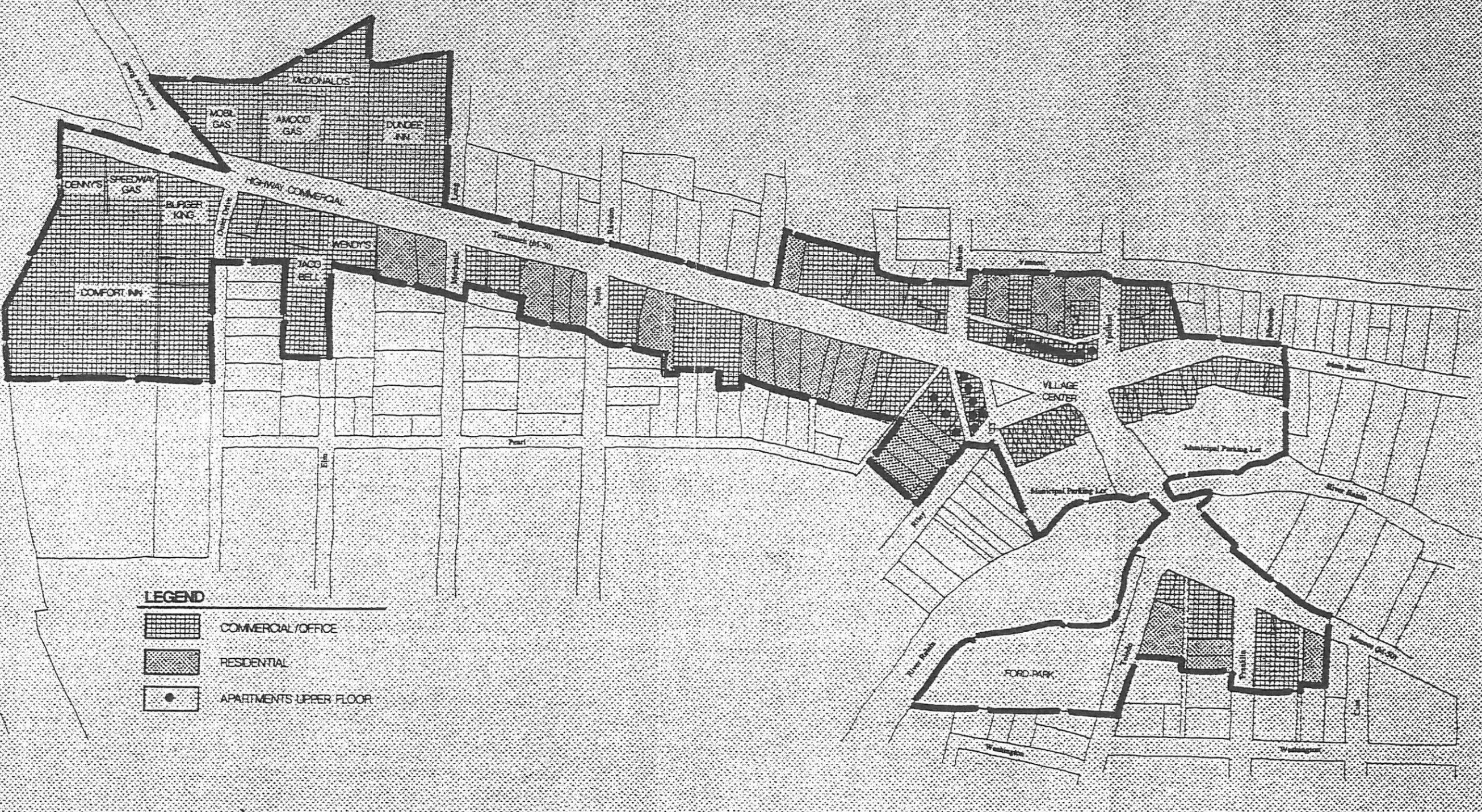
Several tracts of undeveloped property exist within the Development Area and are located along Tecumseh Street and within the Village Center area.

3. Location and Extent of Proposed Public and Private Land Uses.

The Amended and Restated Development Plan envisions the integration of public and private land uses as a method of strengthening the economic base of the Development Area. This will be accomplished by improving the public infrastructure adjacent to existing private development. Major investment in the overall Downtown Development Authority District will occur as outlined in the Development Plan No. 1 and Tax Increment Plan No. 1 adopted by the Village in 1988; Village Center Plan; and this Development Plan. Specifically, the Downtown Development Authority plans to utilize three distinct approaches to the revitalization and enhancement of the Dundee commercial base. The first strategy is to induce private reinvestment in the Village Center through the installation of public improvements that will provide parking and pedestrian access to existing commercial establishments and underutilized properties. To stimulate redevelopment, the Downtown Development Authority may purchase, renovate and resell certain properties that are currently deteriorated or assist the Village with the development of an appropriate building code enforcement program. The second strategy is to improve public property adjacent to commercial areas where commercial investment is already occurring. The final strategy is to provide assistance to the Village Planning Commission with a review of zoning regulations that discourage the introduction of inappropriate land uses within the development area.

4. Legal Description of the Development Area

Commencing at a point at the center point of Lot 16 Wilderson's Plat and extending easterly along Main Street at the north lot lines of Lots 17 through 30 of said plat to the east line of the existing alleyway, follow the west line of Lot 8 Original Plat of the Village of Dundee to the River Raisin, then follow the banks of the River Raisin WSW to the right of way of Monroe Street (M-50), then follow the east right of way boundary crossing on Monroe Street at a point located at the West 1/2 of Lot 9 of Van Nest Plat.



LEGEND

	COMMERCIAL/OFFICE
	RESIDENTIAL
	APARTMENTS UPPER FLOOR

Map/Graphic 4
Development Area Land Use

Follow from that point thence south for approximately 198 feet thence west 74.25 feet thence southwest 825 feet along the east lot line of Lot 38 of Van Nest Plat to southern line thence follow southern line of said lot to Franklin Street. Cross Franklin Street on same line to a point where Lot 4 of VanNest Plat begins. Follow a line at the southern boundaries of Lots 4, 3, and 2 of Van Nest Plat, thence follow northern boundary of Lot 2 of said Plat to a point 95.95 feet south of Monroe Street. Thence crossing Toledo Street at that point, heading in a Southerly manner approximately 375 feet thence west to the River Raisin. Follow the River Raisin in a northeasterly direction to the western right of way of Monroe Street, crossing the River Raisin and commencing again at the northerly bank of the River Raisin, following the banks in a west-south-westerly direction directly approximately 333 feet to the westerly boundary of an alleyway abutting Lots 25 and 26 of the Original Plat of the Village of Dundee. Follow the alleyway northerly to the right of way line of Riley Street. Cross the right of way line to a point commencing at the southwest erty border of Lot 41 of the Original Plat of the Village of Dundee. Follow line from P.O.B. 200 feet thence along a line running parallel to the said lot line, 50 feet north of Lot 40 of the Original Plat of the Village of Dundee. Cross alleyway and commence at a point at the south line of Lot 47 of the Original Plat of the Village of Dundee. Following a line extending along the south boundaries of Lots 48, 49, 50 and 51 of said plat extending along same boundary to Lot 1 of the Fish Plat, continuing along the southerly borders of Lots 1-9 of said Fish Plat. Thence from a P.O.B. at the southwest corner of Lot 9 of Fish Plat extending in a west-north-westerly manner on a line 166 feet south of Tecumseh Street for approximately 300 feet, thence south following the easterly border of the lot (approximately 346 west o Mechanic Street) approximately 300 feet, thence west 122.9 feet, thence north 275 feet to the southeast corner of Lot 8 Shetteroe Plat, thence westerly following south border of said lot thence crossing Outer Drive and following a line south to a point 559.92 feet south of the centerline of M-50. Thence west 192.60 feet, thence from a point approximately 1550 feet south of the right of way of Tecumseh Street, thence northerly following the right of way of U.S. Highway 23 to the centerline of Tecumseh Street (M-50). Follow the centerline of M-50 to the centerline of Ann Arbor Road. Thence follow said centerline north 275.02 feet, thence east 340 feet, thence northeasterly 395.41 feet, thence south 60 feet.. Thence from that point, heading northeasterly, a line 256.06 feet, thence south, following the centerline of Long Street to the centerline of M-50. Thence, follow the centerline of M-50 to a point 540 feet east of Barnum Street, thence north 163.5 feet, thence easterly, parallel to M-50, 100 feet, thence due east to centerline of Barnum Street. Follow the centerline of Barnum Street to the centerline of Van Nest Street. Thence follow the centerline of Van Nest Street to the east lot line of Lot 77 of the Original Plat of the Village of Dundee. Follow said lot line south, thence crossing Main Street to the center point of Lot 16 of Wilkerson's Plat.

5. Existing Improvements in the Development Area to be Demolished, Repaired or Altered and Time Required for Completion.

The proposed development program for the Development Area incorporates the integration of public and private improvements. The overall project descriptions and schedule of phasing for projects in the Amended and Restated Development Plan have been delineated in the next section by their respective location within the Development Area. However, the scope of change from existing conditions is outlined below.

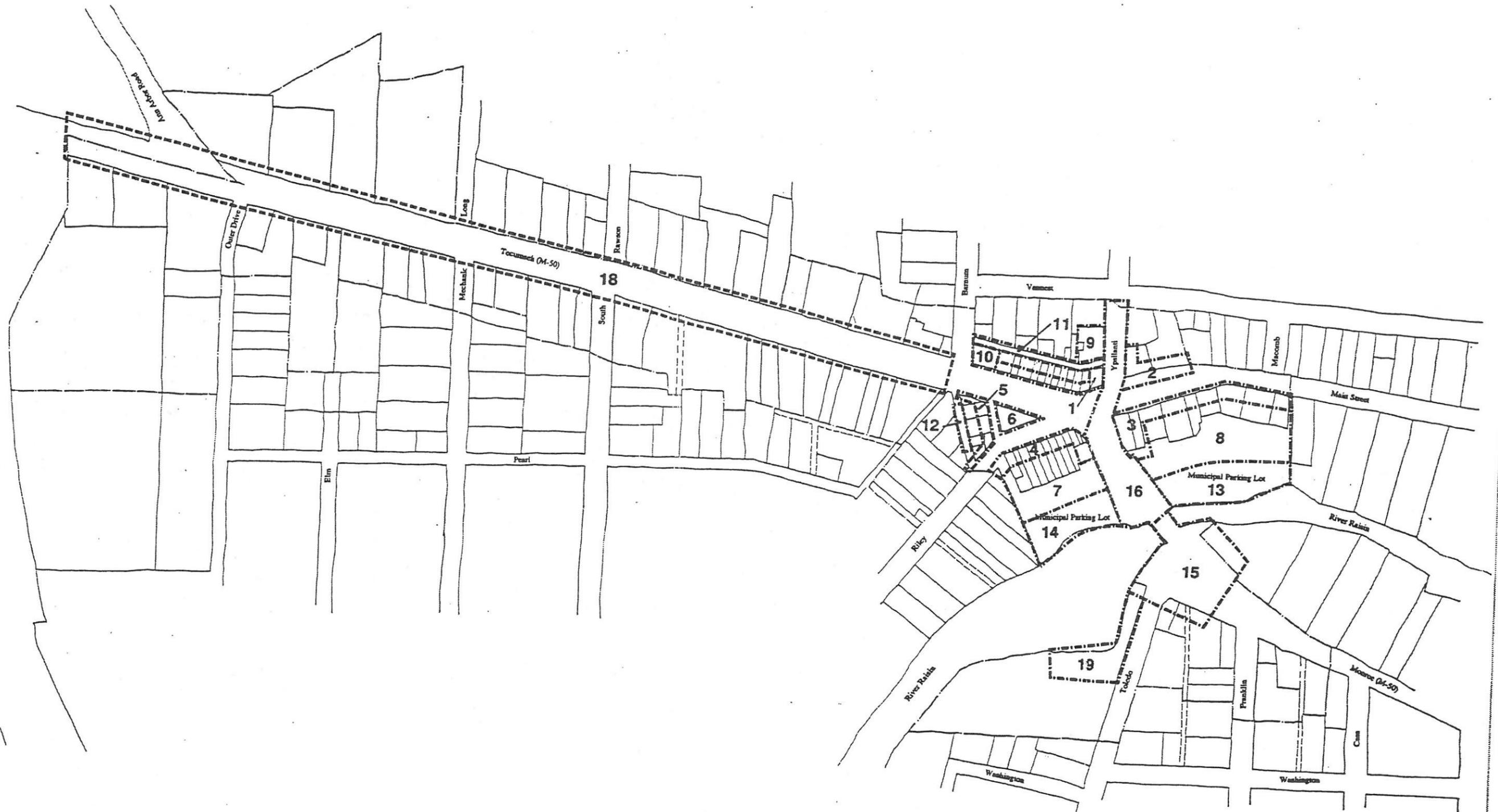
The Downtown Development Authority redevelopment concept calls for the renovation of existing public improvements such as the sidewalks, landscaping and terrace areas and construction of new improvements such as pedestrian areas and off-street parking lots. Initially, the majority of improvements made to the development area will be focused on the Village Center area. These will include installation of storm and sanitary sewers and streetscape improvements (sidewalks, barrier-free improvements, lighting, street trees, and furniture) between the curb and building face. This will result in demolition and repair of existing infrastructure. Further, the Village Center and Downtown Streetscape Plans envision the installation of off-street parking facilities and improvements to major entry corridors which will require demolition of certain appurtenances. The Downtown Streetscape Plan also recommends the realignment of Ypsilanti Street and resurfacing of several public alleys.

6. The Location, Extent, Character and Estimated Cost of Improvements including Rehabilitation for the Development Area and an Estimate of Time Required for Completion.

Projects proposed for implementation are based on several redevelopment plans for the Village of Dundee which delineate various public and private improvements. Cost estimates listed in Table 1 are estimated costs and will be refined as design plans are completed for individual projects. Funding for the public improvement projects delineated below is proposed from a variety of sources including tax increment revenues, Historic Preservation funds, Federal and State sources, and other additional sources depending on the scope and location of the project. In addition, funds may be sought from special assessment districts (SAD's), historic preservation grants, recreation monies through the Michigan Recreation Bond Program and Land and Water Conservation Fund program, and Michigan Small Cities program funds.

Table 1
Estimated Cost and Phasing of Improvements

	<i>Project Description</i>	<i>Estimated Cost</i>	<i>Phasing</i>
1	Vannest Block Streetscape	361,250	1993 -1995
2	North Main Block Streetscape	136,250	1993 -1995
3	South Main Block Streetscape	295,000	1993 -1995
4	Riley Block Streetscape	267,500	1993 -1995
5	Park Place Block Streetscape	215,000	1993 -1995
6	Triangle Park	8,750	1993 -1995
7	Parking Lot - Riley Block	250,000	1994 - 1996
8	Parking Lot - Main Block	247,500	1994 - 1996
9	Parking Lot - Vannest Block (Ypsilanti)	93,750	1992 -1993
10	Parking Lot - Vannest Block (Barnum)	171,250	1995 - 2000
11	Vannest Block Alley	72,500	1992 - 1994
12	Park Place Alley	41,250	1994 - 1996
13	Ford Park - East	295,000	1997 - 2011
14	Ford Park - West	393,750	1995 - 2011
15	East Entry Improvements	12,500	1992 - 1999
16	Sewer Separation Efforts	181,000	1993 - 1995
17	Underground Utility Project	497,000	1997 - 2011
18	M-50 Corridor Improvements	80,000	1992 -1999
19	Fishing Pier and East Bank Stabilization	105,000	1993 - 1995
19	Land Acquisition Fund	250,000	1992 - 2011
	Total Estimated Cost	3,974,250	



Map/Graphic 5
Development Area Projects

Vannest Block Streetscape - Complete refurbishment of the existing streetscape (area between the front building line and the curb) along the north side of Tecumseh Street from Ypsilanti and Barnum. Streetscape improvements would include demolition of existing conditions and installation of new sidewalks and brick pavers, street trees, irrigation, pedestrian lighting, parking bays, special features and realignment of the Ypsilanti / Main Street intersection.

North Main Block Streetscape - Complete refurbishment of the existing streetscape along the north side of Main Street from Ypsilanti to the northeast terminus of the DDA district. Streetscape improvements would include demolition of existing conditions and installation of new sidewalks and brick pavers, street trees, irrigation, pedestrian lighting, parking bays and special features.

South Main Block Streetscape - Complete refurbishment of the existing streetscape at the northeast intersection of Tecumseh St. and Main St. along with the south side of Main Street from Tecumseh St. to the northeast terminus of the DDA district. Streetscape improvements would include demolition of existing conditions and installation of new sidewalks and brick pavers, street trees, irrigation, pedestrian lighting, parking bays and pedestrian courtyard at the intersection.

Riley Block Streetscape - Complete refurbishment of the existing streetscape along the south side of Riley Street from Tecumseh St. to the northwest terminus of the DDA district. Streetscape improvements would include demolition of existing conditions and installation of new sidewalks and brick pavers, street trees, irrigation, pedestrian lighting, and parking bays.

Park Place Block Streetscape - Complete refurbishment of the existing streetscape along the south side of Park Place from Riley Street to Tecumseh St. Streetscape improvements would include demolition of existing conditions and installation of new sidewalks and brick pavers, street trees, irrigation, pedestrian lighting, and parking bays.

Triangle Park - Subject to a final selection of streetscape lighting; replacement of existing street lights within the park.

Riley Block Parking Lot - Installation of a parking lot behind the Riley Block that would serve businesses on Riley Street and Ford Park. Improvements to include storm drainage, paving, curbs, sidewalks, lighting, landscaping and signage.

Main Block Parking Lot - Installation of a parking lot behind the Main Block that would serve businesses on Main Street and Ford Park. Improvements to include storm drainage, paving, curbs, sidewalks, lighting, landscaping and signage.

Vannest Block (Ypsilanti) Parking Lot - Installation of a parking lot behind the Vannest Block adjacent to Ypsilanti Street. Improvements to include storm drainage, paving, curbs, lighting, sidewalks, landscaping and signage. This project would be done in conjunction with the pavement of the Vannest Block alley that runs from Ypsilanti to Barnum Street.

Vannest Block (Barnum) Parking Lot - Installation of a parking lot at the northeast corner of Tecumseh and Barnum Streets. Development of this parking lot is predicated on acquisition of certain private properties. Improvements to include storm drainage, paving, curbs, lighting, landscaping and signage.

Vannest Block Alley - Pavement of alley between Ypsilanti and Barnum Streets. Improvements to include storm drainage, paving, and lighting.

Park Place Alley - Pavement of alley between Riley and Tecumseh Streets. Improvements to include storm drainage, paving, and lighting.

Ford Park (East) - Development of a special events areas, walkways, lighting, and landscaping along the River Raisin.

Ford Park (West) - Development of a riverwalk system, spillway pavilion, walkways, access under the Monroe St. (M-50) bridge, lighting, and landscaping.

East Entry Improvements - Installation of landscaping and signage at the east entry to downtown. Improvements may also include realignment of Toledo / Monroe Street intersection.

Sewer Separation Efforts - Installation of storm and sanitary sewers pursuant to the Village of Dundee Combined Sewer Overflow Elimination Study.

Underground Utility Project - Removal and burial of overhead utility lines in the downtown area. Cost of project includes reimbursement of services to utility companies and connection of electrical systems to adjacent buildings.

M-50 Corridor Improvements - Installation of landscaping along Tecumseh / Monroe Streets (M-50), installation of streetscape lighting, and replacement of Detroit Edison wood pole lighting with cobra fixtures and banners.

Fishing Pier and East Bank Stabilization - Mitigation of east bank erosion along the River Raisin, repair of concrete embankments, installation of barrier free access and fishing pier.

Land Acquisition Fund - Establishment of a fund that will be used to acquire selective properties within the downtown to facilitate the implementation of projects.

7. A Statement of the Construction or Stages of Construction Planned, and the Estimated Time of Completion.

The time schedule for construction of the public improvement program for projects enumerated in the Development Plan are outlined in the preceding Section.

8. Parts of the Development Area to be Left as Open Space and Contemplated Use.

Concerning the public improvements outlined, open space within that portion of the Development Area covered by Amended and Restated Development Plan, will be confined to right-of-ways, pedestrian walks along streetscapes and public parks along the River Raisin.

9. Portions of the Development Area which the Authority Desires to Sell, Donate, Exchange, or Lease to or From the Municipality and the Proposed Terms.

Currently there are no properties that the Downtown Development Authority owns that it desires to sell, donate, exchange, or lease to or from the Village of Dundee.

10. Desired Zoning Changes and Changes in Streets, Street Levels, Intersections and Utilities.

The Downtown Development Area as a component of its redevelopment strategy will review and recommend to the Planning Commission certain changes to the Master Plan and Zoning Ordinance that effect properties within the Development Area. In regards to utilities, the Village of Dundee through its engineer, Finkbeiner, Pettis and Strout, Limited has recently completed the Combined Sewer Overflow Elimination Project Plan. The results of this evaluation proposes the separation of combine sanitary and storm sewers within the Village to comply with State mandates to reduce pollution. Several of the existing and proposed mains traverse the Development Area and serve properties within the district. As a result, these lines will be replaced in conjunction with the installation of other projects to halt or prevent property value deterioration caused by inadequate and inefficient utility systems.

11. An Estimate of the Cost of the Development, Proposed Method of Financing and Ability of the Authority to Arrange the Financing.

Financing for the public improvement projects outlined in Section 6 would be provided through funds generated by the Tax Increment Financing Plan induced by annual increases in property valuations from natural growth and new construction within the Development Area. Further, the Downtown Development Authority may request the Village to sponsor a revenue bond using the proceeds of the tax increments as debt service payment to finance the improvements. In addition, funds may be sought from special assessment districts (SAD's), historic preservation grants, recreation monies through the Michigan Recreation Bond Program and Land and Water Conservation Fund program and Michigan Small Cities program funds.

12. Designation of Person or Persons, Natural or Corporate, to whom all or a portion of the Development is to be Leased, Sold, or Conveyed in any manner and for whose benefit the Project is being undertaken if that information is available to the Authority.

The public improvements undertaken in the Amended and Restated Development Plan will remain in public ownership for the public benefit. Although components of the projects outlined (i.e. streetscape, off-street parking facilities, sanitary and storm sewers, etc.) benefit adjacent commercial property owners, they are public assets to be managed by the municipality.

13. The Procedures for Bidding for the Leasing, Purchasing, or Conveying of all or a portion of the Development upon its completion, if there is no expressed or implied Agreement between the Authority and Persons, Natural or Corporate, that all or a portion of the Development will be Leased, Sold, or Conveyed to those Persons.

Currently there are no agreements for property conveyance between the Village of Dundee, Dundee Downtown Development Authority or any person(s), natural or corporate for properties within that portion of the Development Area covered by Amended and Restated Development Plan. All land acquisitions, if any, would be done by mutual agreement between the seller and DDA as property becomes available.

Any such sale, lease or exchange shall be conducted by the Downtown Development Authority pursuant to requirements specified in Act 197 of Public Acts of 1975, as amended, with the consent of the Village Council. If needed, more detailed procedures will be developed before the transactions are executed, according to applicable village policy and Michigan state law.

14. Estimates of the Number of Persons residing in the Development Area and the Number of Families and Individuals to be Displaced.

On the basis of a review of the properties within the Downtown Development Authority district and Development Area it is estimated that 94 individuals reside within the Development Area. This estimate was based on a physical inventory of dwelling units within the Development Area compared against block data provided through the 1990 U.S. Census (Census Tract 8303: Parent Sheet 6) and multiplied by an average persons per household by block. Amended and Restated Development Plan does not require the acquisition and clearance of occupied residential property or the displacement of individuals and families within that portion of the Development Area covered by Amended and Restated Development Plan.

15. A Plan for Establishing Priority for the Relocation of Persons Displaced by the Development in any New Housing in the Development Area.

There is no plan to condemn property in conjunction with the Amended and Restated Development Plan. As a result this section is inapplicable.

16. Provision for the Costs of Relocating Persons Displaced by the Development, and Financial Assistance and Reimbursement of Expenses, including Litigation expenses and expenses incident to the Transfer of Title in accordance with the Standards and Provisions of the Federal Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970.

There is no plan to condemn property in conjunction with the Amended and Restated Development Plan. As a result this section is inapplicable.

17. A Plan for compliance with the Federal Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 and Act 227 of the Public Acts of 1972.

There is no plan to condemn property in conjunction with the Amended and Restated Development Plan. As a result this section is inapplicable.

TAX INCREMENT FINANCING PLAN

1. Definitions as Used in This Plan.

- a. "Captured Assessed Value" (the "CAV") means the amount in any one (1) year by which the current assessed value, as equalized, of the eligible property identified in the tax increment financing plan, including the current assessed value of property for which specific local taxes are paid in lieu of property taxes as determined in subdivision (c), exceeds the initial assessed value. The State Tax Commission shall prescribe the method for calculating captured assessed value.
- b. "Initial Assessed Value" (the "IAV") means the assessed value, as equalized, of the eligible property identified in the tax increment financing plan at the time the resolution or ordinance establishing the tax increment financing plan is approved as shown by the most recent assessment roll for which equalization has been completed at the time the resolution or ordinance is adopted. Property exempt from taxation at the time of the determination of the initial assessed value shall be included as zero. Property for which a specific local tax is paid in lieu of property tax shall not be considered exempt from taxation. The initial assessed value of property for which a specific local tax was paid in lieu of property tax shall be determined as provided in subdivision (c).
- c. "Specific Local Taxes" mean a tax levied under Act 198 of the Public Acts of 1974, being sections 207.551 to 207.571 of the Michigan Compiled Laws, the commercial redevelopment act, Act No. 255 of the Public Acts of 1978, being section 207.651 to 207.668 of the Michigan Compiled Laws, the enterprise zone act, Act No. 224 of the Public Acts of 1985, being sections 125.2101 to 125.2122 of the Michigan Compiled Laws, Act 189 of the Public Acts of 1953, being sections 211.181 to 211.182 of the Michigan Compiled Laws, and the technology park development act, Act No. 385 of the Public Acts of 1984, being sections 207.701 to 207.718 of the Michigan Compiled Laws. The initial assessed value or current assessed value of property subject to specific local tax shall be the quotient of the specific local tax paid divided by the ad valorem millage rate.

2. Purpose of the Tax Increment Financing Plan

The Village of Dundee's Downtown Development District, adopted November 3, 1987 was established because the downtown area experienced notable property value deterioration. In order to halt property tax value deterioration, increase property tax valuations and facilitate the overall economic growth of its business district, it is deemed to be beneficial and necessary to create and provide for the operation of a downtown development authority in the Village under the provisions of Act 197 Public Acts of Michigan, 1975 as amended (the "Act").

The Authority has determined that a tax increment financing plan is necessary for the achievement of the purposes of the Act and it is authorized to prepare and submit said plan to the governing body. The Tax Increment Financing Plan (the "Plan"), set forth herein includes the Development Plan, a detailed explanation of the tax increment procedure, the maximum amount of bonded indebtedness

to be incurred, the duration of the program, the impact of tax increment financing on the assessed values of all taxing jurisdictions in which the development area is located and a statement of the portion of the captured assessed value to be used by the Authority.

3. Explanation of the Tax Increment Procedure

The theory of tax increment financing holds that investment in necessary capital improvements in a designated area within a municipality will result in greater property tax revenues from that area than would otherwise occur if no special development were undertaken. This section is intended to explain the tax increment procedure.

- a. In order to provide a downtown development authority with the means of financing development proposals, the Act affords the opportunity to undertake tax increment financing of development programs. These programs must be identified in a tax increment financing plan which has been approved by the governing body of a municipality. Tax increment financing permits the Authority to capture incremental tax revenues attributable to increases in value of real and personal property located within an approved development area. The increases in property value may be attributable to new construction, rehabilitation, remodeling, alterations, additions or any other factors which cause growth in value.
- b. At the time the resolution or ordinance establishing a tax increment financing plan is adopted, the sum of the most recently assessed values, as equalized, of those taxable properties located within the development area is established as the "Initial Assessed Value" (the "IAV"). Property exempt from taxation at the time of determination of the Initial Assessed Value is included as zero. In each subsequent year, the total real and personal property within the district, including abated property on separate rolls, is established as the "Current Assessed Value."
- c. The amount by which the total assessed value exceeds the IAV is the Captured Assessed Value (the "CAV"). During the period in which a tax increment financing plan is in effect, local taxing jurisdictions continue to receive ad valorem taxes based on the IAV. Property taxes paid on a predetermined portion of the CAV in years subsequent to the adoption of tax increment financing plan, however, are payable to an authority for the purposes established in the tax increment financing plan.

4. Taxing Jurisdiction Agreements.

Tax increment revenues for the Downtown Development Authority result from the application of the general tax rates of the incorporated municipalities and all other political subdivisions which levy taxes in the development area to the captured assessed value. Since the Plan may provide for the use of all or part of the captured tax increment revenue, the DDA may enter into agreements with any of the taxing units to share a portion of the revenue of the District. Should the Authority find it necessary to use all of the captured revenue, it shall be clearly stated in this plan.

The Authority intends to utilize all captured revenue, excluding certain debt millage as referenced in Table 4, from the District until the projects addressed in Amended and Restated Development Plan are completed and until any bonded indebtedness is paid.

5. Property Valuations and Captured Revenue.

The property valuation on which tax increment revenues will be captured is the difference between the Initial Assessed Valuation and the Current Assessed Valuation. The purpose of this section is to set forth the Initial Assessed Valuation, the projected Captured Assessed Valuation and the anticipated increment revenues to be received by the Authority from the local taxing jurisdictions including the Village of Dundee, Dundee Public Schools, County of Monroe, Monroe County Intermediate School District, Monroe County Public Library, Monroe County Community College and any other authorities or special tax districts that may be eligible to levy property taxes within the boundaries of the Downtown Development Authority, herein collectively referred to as the "Local Taxing Jurisdictions."

- a. The Initial Assessed Valuation is established based on the 1987 state equalized valuations on real and personal property on all non-exempt parcels within that portion of the Development Area. The Initial Assessed Valuation of the Authority is \$3,112,825 as set forth below.

<u>Initial Assessed Value</u>	<u>1987 District</u>
Total Real Property	\$2,792,010
Total Personal Property	\$320,815
Total SEV	\$3,112,825

- b. The anticipated Captured Assessed Value is equivalent to the annual total assessed value within the Development Area boundaries less the Initial Assessed Value as described above. The tax increment revenues are then the product of all millages levied by all taxing units in the Development Area on the CAV. The CAV is projected based on a number of factors including historical growth patterns, recent construction trends, economic indicators and the impact of certain development projects anticipated to be undertaken by the Downtown Development Authority. For projection purposes, the factor applied to annual valuation growth is 2.0% for real property and .25% for personal property. The tax years 1987 through 1991 reflect the actual increase in the S.E.V. and the 1992 tax year incorporates the legislated S.E.V. freeze. A more detailed depiction of the Captured Assessed Valuations can be found in Table 6.
- c. The Authority will receive that portion of the tax levy of all taxing jurisdictions paid each year on the Captured Assessed Value of the eligible property included in the Development Area. The Authority may use the revenues for any legal purpose as is established under the Act including the payment of principal and interest on bonds.

Table 2
Anticipated Captured Assessed Valuation

	Real	Personal	Total	Captured	Captured	Captured
	Property	Property	Property	Real	Personal	Total
	S.E.V.	S.E.V.	S.E.V.	S.E.V.	S.E.V.	S.E.V.
1987	2,792,010	320,815	3,112,825			
1988	2,846,425	311,184	3,157,609	54,415	(9,631)	44,784
1989	3,915,900	426,695	4,342,595	1,123,890	105,880	1,229,770
1990	4,984,525	742,125	5,726,650	2,192,515	421,310	2,613,825
1991	5,161,650	602,195	5,763,845	2,369,640	281,380	2,651,020
1992	5,316,500	603,700	5,920,200	2,524,490	282,885	2,807,375
1993	5,422,829	605,210	6,028,039	2,630,819	284,395	2,915,214
1994	5,531,286	606,723	6,138,009	2,739,276	285,908	3,025,184
1995	5,641,912	608,240	6,250,151	2,849,902	287,425	3,137,326
1996	5,754,750	609,760	6,364,510	2,962,740	288,945	3,251,685
1997	5,869,845	611,285	6,481,130	3,077,835	290,470	3,368,305
1998	5,987,242	612,813	6,600,055	3,195,232	291,998	3,487,230
1999	6,106,987	614,345	6,721,332	3,314,977	293,530	3,608,507
2000	6,229,127	615,881	6,845,007	3,437,117	295,066	3,732,182
2001	6,353,709	617,420	6,971,129	3,561,699	296,605	3,858,304
2002	6,480,783	618,964	7,099,747	3,688,773	298,149	3,986,922
2003	6,610,399	620,511	7,230,910	3,818,389	299,696	4,118,085
2004	6,742,607	622,063	7,364,669	3,950,597	301,248	4,251,844
2005	6,877,459	623,618	7,501,077	4,085,449	302,803	4,388,252
2006	7,015,008	625,177	7,640,185	4,222,998	304,362	4,527,360
2007	7,155,308	626,740	7,782,048	4,363,298	305,925	4,669,223
2008	7,298,415	628,307	7,926,721	4,506,405	307,492	4,813,896
2009	7,444,383	629,877	8,074,260	4,652,373	309,062	4,961,435
2010	7,593,270	631,452	8,224,723	4,801,260	310,637	5,111,898
2011	7,745,136	633,031	8,378,167	4,953,126	312,216	5,265,342
2012	7,900,039	634,613	8,534,652	5,108,029	313,798	5,421,827
2013	8,058,039	636,200	8,694,239	5,266,029	315,385	5,581,414
2014	8,219,200	637,790	8,856,990	5,427,190	316,975	5,744,165
2015	8,383,584	639,385	9,022,969	5,591,574	318,570	5,910,144
2016	8,551,256	640,983	9,192,239	5,759,246	320,168	6,079,414

For instance, if the tax rate is 69.00 mills per \$1,000 of assessed valuation, the tax increment will be 69.00 mills applied to the total captured assessed valuation.

The Township Treasurer will collect the general property taxes from property owners in the DDA. After taxes are collected, the Treasurer will deduct that portion of the total tax revenues that is derived from captured assessed value of the DDA and distribute them to the DDA to use for purposes outlined in the development plan. A review of the 1992 millage rates for all Local Taxing Jurisdictions in the DDA is as set forth in section 8 below (referenced in Table 4).

Table 3
Anticipated Captured Revenue

	Captured	Captured
	Total	Revenues
	S.E.V.	(69 Mills)
1987		
1988	44,784	2,504
1989	1,229,770	78,662
1990	2,613,825	172,512
1991	2,651,020	184,241
1992	2,807,375	195,107
1993	2,915,214	202,602
1994	3,025,184	210,245
1995	3,137,326	218,038
1996	3,251,685	225,986
1997	3,368,305	234,091
1998	3,487,230	242,356
1999	3,608,507	250,784
2000	3,732,182	259,380
2001	3,858,304	268,145
2002	3,986,922	277,084
2003	4,118,085	286,199
2004	4,251,844	295,495
2005	4,388,252	304,975
2006	4,527,360	314,643
2007	4,669,223	324,502
2008	4,813,896	334,557
2009	4,961,435	344,810
2010	5,111,898	355,267
2011	5,265,342	365,931
2012	5,421,827	376,807
2013	5,581,414	387,898
2014	5,744,165	399,209
2015	5,910,144	410,744
2016	6,079,414	422,508

6. Maximum Indebtedness.

It is anticipated that the maximum amount of indebtedness to be incurred based on 1992 costs will not exceed \$3,000,000 for projects identified in Amended and Restated Development Plan. A description of the various projects and the actual amounts expected to be financed are as set forth in Section 6 of the Development Plan. Revenues captured will be used to accomplish projects in the Development Area.

7. Use of Captured Revenues

Revenues captured through this Tax Increment Plan will be used to finance those improvements and projects outlined in Table 1 of the Development Plan. Further, captured revenues can be used to finance current financial obligations of the DDA, to pay for costs incurred by the Village/DDA in implementing both the Development Plan and the Tax Increment Financing Plan, and to pay for costs associated with the administration and operation of the Development and Tax Increment Plan.

8. Duration of the Program

The Development Plan and Tax Increment Financing Plan shall extend through the earlier of December 31, 2016, or the completion of the projects described in the Development Plan.

Table 4
Anticipated Millage To Be Captured

Millage Allocation			
Dundee Public Schools			36.24
Village of Dundee			18.5909
Dundee Township			2.3772
County of Monroe			5.59
Monroe Intermediate Schools			3.9
Monroe County Community College			2.3
Monroe County Library			0.5
Total Millage			69.4981

9. Plan Impact on Local Taxing Jurisdictions

The Authority recognizes that future development in the Village's business district will not be likely in the absence of tax increment financing. The Authority also recognizes that enhancement of the value of nearby property will indirectly benefit all local governmental units included in this plan. It is expected that the effected local taxing jurisdictions will not experience a gain in property tax revenues from the Development Area during the duration of the plan and should realize increased property tax revenues thereafter as a result of activities financed by the plan. Such future benefits cannot be accurately quantified at this time.

10. Release of Captured Revenues

When the Development and Financing Plans have been accomplished, the captured revenue is released and the local taxing jurisdictions receive all the taxes levied on it from that point on.

Table 5
Revised Tax Increment Financing Forecast

	Captured Real S.E.V.	Captured Personal S.E.V.	Captured Total S.E.V.	Captured Revenues (69 Mills)	Accumulated Captured Revenues
1987					
1988	54,415	(9,631)	44,784	2,504	0
1989	1,123,890	105,880	1,229,770	78,662	0
1990	2,192,515	421,310	2,613,825	172,512	28,000
1991	2,369,640	281,380	2,651,020	184,241	212,241
1992	2,524,490	282,885	2,807,375	195,107	407,348
1993	2,630,819	284,395	2,915,214	202,602	609,950
1994	2,739,276	285,908	3,025,184	210,245	820,194
1995	2,849,902	287,425	3,137,326	218,038	1,038,233
1996	2,962,740	288,945	3,251,685	225,986	1,264,219
1997	3,077,835	290,470	3,368,305	234,091	1,498,309
1998	3,195,232	291,998	3,487,230	242,356	1,740,665
1999	3,314,977	293,530	3,608,507	250,784	1,991,450
2000	3,437,117	295,066	3,732,182	259,380	2,250,829
2001	3,561,699	296,605	3,858,304	268,145	2,518,974
2002	3,688,773	298,149	3,986,922	277,084	2,796,057
2003	3,818,389	299,696	4,118,085	286,199	3,082,257
2004	3,950,597	301,248	4,251,844	295,495	3,377,752
2005	4,085,449	302,803	4,388,252	304,975	3,682,727
2006	4,222,998	304,362	4,527,360	314,643	3,997,370
2007	4,363,298	305,925	4,669,223	324,502	4,321,872
2008	4,506,405	307,492	4,813,896	334,557	4,656,429
2009	4,652,373	309,062	4,961,435	344,810	5,001,239
2010	4,801,260	310,637	5,111,898	355,267	5,356,506
2011	4,953,126	312,216	5,265,342	365,931	5,722,437
2012	5,108,029	313,798	5,421,827	376,807	6,099,244
2013	5,266,029	315,385	5,581,414	387,898	6,487,142
2014	5,427,190	316,975	5,744,165	399,209	6,886,350
2015	5,591,574	318,570	5,910,144	410,744	7,297,094
2016	5,759,246	320,168	6,079,414	422,508	7,719,602

11. Assumptions of Tax Increment Financing Plan.

The following assumptions were considered in the formulation of the Tax Increment Financing Plan for the Dundee Downtown Development Authority:

- A. Real Property valuations are based on the 1992 actual State Equalized Value (S.E.V.) and increases by 2% each year thereafter. These increases are net of any additions or subtractions due to new construction, property acquisition, relocation, or other factors.
- B. Personal property valuations are based on the 1992 actual value and increases a net of depreciation .25% each year thereafter. These increases are net of any additions or subtractions due to new construction, property acquisition, relocation, or other factors.
- C. Commercial facilities exemptions certificates (CFEC) are unavailable to properties within the Downtown Development District.
- D. Two property tax reductions proposal will appear on the November 1992 state election ballot, and both could effect Tax Increment Financing. House Joint Resolution H (HJR-H) would limit residential SEV increases to the lesser of the inflation rate or 5%, until a property is sold; and the Governor's tax proposal would limit SEV increases on all properties to the lesser of the inflation rate or 3%. However, since the Tax Increment Revenue Forecast is predicated on a 2% annual SEV increase, the forecasted captured revenue is expected to be unaffected by either ballot proposal.
- E. Although the Michigan Legislature has been discussing the abolition of tax increment financing at the subcommittee level, no proposals have been submitted to the Legislative floor for consideration, and all discussions have included the grandfathering of tax increment financing agencies that have incurred bonded indebtedness.
- F. The projected debt service payments are based on the 1.25 debt coverage ratio. The actual debt coverage ratio at the time of issuance of bonds will be determined by the Public Finance Advisor, in conjunction with Bond Counsel, pursuant to applicable federal and state statutes regulating the sale of these securities.
- G. Costs provided for the various DDA projects enumerated in Table 1 are estimated costs in 1992 dollars. Final costs are determined after the acceptance of bids at the time of construction. The effects of inflation may also have an undetermined amount of influence on these cost figures.

12. Submission of an Annual Report to Governing Body and State Tax Commission.

Annually the Authority shall submit to the Village Council and the State Tax Commission a report on the status of the tax increment financing account. The report shall include those items enumerated in Section 15 (3) of Act 197 of 1975 (MCL 125.1665). Further, the report shall be published in a newspaper of general circulation.

Exhibit A
Public Finance Documentation

VILLAGE OF DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY
DEBT SERVICE SCHEDULE

ASSUME: 1ST INTEREST PAYMENT: AUGUST 1, 1994
1ST PRINCIPAL PAYMENT: FEBRUARY 1, 1994
INTEREST RATE: 8.00%

\$2,000,000

DATED DATE: APRIL 1, 1994

YEAR	IAV	CURRENT SEV (REAL)	CURRENT SEV (PERSONAL)	SEV CAPTURED TOTAL	MILS	BOUNDED REVENUES BOX COVER YEARS	FEB INTEREST	AUG INTEREST	AUG PRINCIPAL	PRINCIPAL BALANCE	TOTAL DEBT SERVICE	ANNUAL DEBT LESS CAV REV	CUMULATIVE COLLECT
1987	\$3,112,825	\$2,792,010	\$320,815	\$0	66.000	\$0	\$0	\$0	\$0	\$2,000,000	\$0	\$0	\$0
1988	\$3,112,825	\$2,846,425	\$311,184	\$44,784	66.000	\$2,365	\$0	\$0	\$0	\$2,000,000	\$0	\$2,365	\$2,365
1989	\$3,112,825	\$3,915,900	\$426,695	\$1,229,770	66.000	\$64,932	\$0	\$0	\$0	\$2,000,000	\$0	\$64,932	\$27,296
1990	\$3,112,825	\$4,984,825	\$742,125	\$2,613,825	66.000	\$138,010	\$0	\$0	\$0	\$2,000,000	\$0	\$138,010	\$202,942
1991	\$3,112,825	\$5,670,050	\$602,195	\$3,159,420	66.000	\$166,817	\$0	\$0	\$0	\$2,000,000	\$0	\$166,817	\$304,827
1992	\$3,112,825	\$5,840,152	\$603,700	\$3,331,027	66.000	\$175,878	\$0	\$0	\$0	\$2,000,000	\$0	\$175,878	\$342,696
1993	\$3,112,825	\$5,956,955	\$605,209	\$3,449,339	66.000	\$182,125	\$0	\$0	\$0	\$2,000,000	\$0	\$182,125	\$358,003
1994	\$3,112,825	\$6,076,094	\$606,722	\$3,569,991	66.000	\$188,496	\$0	\$66,667	\$0	\$2,000,000	\$66,667	\$121,829	\$370,621
1995	\$3,112,825	\$6,197,616	\$608,239	\$3,693,030	66.000	\$194,992	\$80,000	\$80,000	\$30,000	\$1,970,000	\$190,000	\$4,992	\$383,488
1996	\$3,112,825	\$6,321,568	\$609,760	\$3,818,503	66.000	\$201,617	\$78,800	\$78,800	\$40,000	\$1,930,000	\$197,600	\$4,017	\$396,609
1997	\$3,112,825	\$6,448,000	\$611,284	\$3,946,459	66.000	\$208,373	\$77,200	\$77,200	\$50,000	\$1,880,000	\$204,400	\$3,973	\$409,990
1998	\$3,112,825	\$6,576,960	\$612,812	\$4,076,947	66.000	\$215,263	\$75,200	\$75,200	\$60,000	\$1,820,000	\$210,400	\$4,863	\$423,636
1999	\$3,112,825	\$6,708,499	\$614,344	\$4,210,018	66.000	\$222,289	\$72,800	\$72,800	\$75,000	\$1,745,000	\$220,600	\$1,689	\$437,552
2000	\$3,112,825	\$6,842,669	\$615,880	\$4,345,724	66.000	\$229,454	\$69,800	\$69,800	\$85,000	\$1,660,000	\$224,600	\$4,854	\$451,743
2001	\$3,112,825	\$6,979,522	\$617,420	\$4,484,117	66.000	\$236,761	\$66,400	\$66,400	\$100,000	\$1,560,000	\$232,800	\$3,961	\$466,216
2002	\$3,112,825	\$7,119,113	\$618,963	\$4,625,251	66.000	\$244,213	\$62,400	\$62,400	\$110,000	\$1,450,000	\$234,800	\$9,413	\$480,975
2003	\$3,112,825	\$7,261,495	\$620,511	\$4,769,181	66.000	\$251,813	\$58,000	\$58,000	\$115,000	\$1,335,000	\$231,000	\$20,813	\$496,026
2004	\$3,112,825	\$7,406,725	\$622,062	\$4,915,962	66.000	\$259,563	\$53,400	\$53,400	\$125,000	\$1,210,000	\$231,800	\$27,763	\$511,376
2005	\$3,112,825	\$7,554,859	\$623,617	\$5,065,652	66.000	\$267,466	\$48,400	\$48,400	\$135,000	\$1,075,000	\$231,800	\$35,666	\$527,029
2006	\$3,112,825	\$7,705,957	\$625,176	\$5,218,308	66.000	\$275,527	\$43,000	\$43,000	\$145,000	\$930,000	\$231,800	\$44,527	\$542,993
2007	\$3,112,825	\$7,860,076	\$626,739	\$5,373,990	66.000	\$283,747	\$37,200	\$37,200	\$160,000	\$770,000	\$231,800	\$49,347	\$559,273
2008	\$3,112,825	\$8,017,277	\$628,306	\$5,532,758	66.000	\$292,130	\$30,800	\$30,800	\$170,000	\$600,000	\$231,800	\$60,530	\$575,876
2009	\$3,112,825	\$8,177,623	\$629,877	\$5,694,675	66.000	\$300,679	\$24,000	\$24,000	\$185,000	\$415,000	\$233,000	\$67,679	\$592,808
2010	\$3,112,825	\$8,341,175	\$631,452	\$5,859,802	66.000	\$309,398	\$16,600	\$16,600	\$200,000	\$215,000	\$233,200	\$76,198	\$610,076
2011	\$3,112,825	\$8,507,999	\$633,030	\$6,028,204	66.000	\$318,289	\$8,600	\$8,600	\$215,000	\$0	\$232,200	\$86,089	\$627,687

ASSUMPTIONS:

REAL PROPERTY SEV INCREASE OF 2.00% AND INCREASE IN 1992 REFLECTS FREEZE PLUS ACTUAL INCREASE IN SEV.
PERSONAL PROPERTY SEV INCREASE OF .25% PER YEAR FROM 1993 THROUGH 2011
ASSUME USE OF 80% OF CAV

14-Jul-92
KAK
DOC NO. 207722.1

Exhibit B
Organizational Documentation
Establishment of the DDA District

ORDINANCE 87-1

AN ORDINANCE FOR THE CREATION OF A DOWNTOWN DEVELOPMENT AUTHORITY IN THE VILLAGE OF DUNDEE, MICHIGAN

The Village of Dundee Ordains:

- 1:150 Title. This ordinance shall be known as the "Downtown Development Authority Ordinance" of the Village of Dundee.
- 1:151 Purpose. The purpose of this ordinance is to create a public body corporate to act in the best interests of the Village to halt property value deterioration, increase property tax valuation where possible in the business district of the Village, eliminate the causes of that deterioration, and to promote economic growth pursuant to Act 197 of the Public Acts of 1975 as amended.
- 1:152 Definitions. The terms used herein shall have the same meaning as given them in P.A. 197 or as hereinafter in this section provided, unless the context clearly indicates to the contrary and shall be in addition to the terms provided in P.A. 197.
- (1) "Authority" means the Dundee Downtown Development Authority
 - (2) "P.A. 197" means Act Number 197 of the Public Acts of Michigan of 1975 as now in effect or hereafter amended.
 - (3) "Village" means the Village of Dundee
 - (4) "Council" means the Dundee Village Council
 - (5) "Downtown District" means the downtown district designated herein.
- 1:153 Creation of Authority. There is hereby created pursuant to P.A. 197 the Dundee Downtown Development Authority for the Village of Dundee, Michigan. The Authority shall be a public body corporate and shall be known and exercise its powers under the title of "Dundee Downtown Development Authority". The Authority may adopt a seal, may sue and be sued in any court of this State, and shall possess all of the powers necessary to carry out the purpose of its incorporation as provided herein and in P.A. 197. The enumeration of power herein or in P.A. 197 shall not be construed as a limitation upon the general powers of the Authority.
- 1:154 Description of the Downtown District. The boundaries of the downtown district in which the Authority shall exercise its powers as provided by P.A. 197 are hereby established as shown on the downtown district map which accompanies this Ordinance and which, with all notations, references and other information shown thereon, shall be as much a part of this ordinance as if fully described herein.
- 1:155 Board. The Authority shall be under the supervision and control of a Board consisting of the President or Manager of the Village and seven members. The members shall be appointed by the President subject to

approval by the Council. Eligibility for membership on the Board and terms of office shall be as provided in P.A. 197. All members shall hold office until the member's successor is appointed.

1:156

Powers of the Authority. As provided in P.A. 197, the Authority shall prepare a development plan and financing plan for the downtown district or a development area within the district. The Authority must obtain Village Council approval of all development and financing plans. The Authority shall possess all of the powers necessary to carry out the purposes of its incorporation and shall have all powers provided by Act 197 of the Public Acts of 1975 with the following exceptions:

- (1) Ad Valorem Taxes: The Authority shall not have the power to levy ad valorem taxed on the real and tangible personal property as finally equalized in the downtown district.
- (2) Tax Increment Financing: If the Downtown Development Authority proposes a tax increment financing plan, it shall only plan the use of that portion of the captured assessed value that is due to new construction and improvements to existing buildings after September 1, 1987 to implement the downtown plan and any amendments thereto.

If the captured assessed valuation derived from new construction, and increase in value of property newly constructed or existing property improved subsequent thereto, grows at a rate faster than anticipated in the tax increment plan, at least 50 percent of such additional amounts shall be divided among the taxing units in relation to their proportion of the current tax levies. If the captured assessed valuation derived from new construction grows at a rate of over twice that anticipated in the plan, all of such excess amounts over twice that anticipated shall be divided among the taxing units. Only after approval of the governmental units may these restrictions be removed.

- (3) Planning Considerations: In developing a plan within the downtown area, the Downtown Development Authority shall consider the following:
 - (a) Tax increment financing shall only be one of the financing methods considered and should be coordinated with private and other public investment funds.
 - (b) If possible, projects should also benefit properties of other governmental units within the downtown area.
 - (c) If tax increment financing is proposed, all governmental units levying a property tax shall be fully informed of this plan and any amendments thereto. Such consultations are to be prior to any action by the Village Council on the proposal. In event of additional projects, the restrictions on recapture in Item 2 would also apply.
 - (d) The plan for the downtown area should show that the property taxes realized for each governmental taxing unit, over the long term, should be greater than if the downtown development

district did not exist.

1:157 Termination. Upon completion of its purposes, the Authority may be dissolved by the Council. The property and assets of the Authority after dissolution and satisfaction of its obligations, shall revert to the Village.

Section 2. This ordinance shall take effect and be in force on and after ten (10) days from legal publication.

CERTIFICATION:

I hereby certify that the foregoing is a true and complete copy of an Ordinance adopted by the Village Council of the Village of Dundee, County of Monroe, State of Michigan, at a regular meeting held November 3, 1987, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by the Act.

Mary C Miller

Mary C. Miller
Village Clerk

Exhibit C
Organizational Documentation
1992 Development Plan and Tax Increment Financing Plan

- DDA Resolution Adopting Plan/Request for Hearing
- Village Council Resolution Establishing Hearing
- Public Hearing Notice - First Publication
- Public Hearing Notice - Second Publication
- Affidavit of Posting
- Affidavit of Mailing
- Public Hearing Minutes
- Letters to Taxing Jurisdiction on Information Meeting
- Minutes of Taxing Jurisdiction Meeting
- Public Hearing Minutes
- Development and TIF Plans Ordinance
- Ordinance Publication and Affidavit

LAW OFFICES OF
MILLER, CANFIELD, PADDOCK AND STONE

SIDNEY T. MILLER (1864-1940)
GEORGE L. CANFIELD (1866-1928)
LEWIS H. PADDOCK (1866-1935)
FERRIS D. STONE (1882-1945)

A PARTNERSHIP INCLUDING PROFESSIONAL CORPORATIONS

150 WEST JEFFERSON, SUITE 2500
DETROIT, MICHIGAN 48226

TELEPHONE (313) 963-6420
TWX 810-221-5007 MILLCNFLD DET
FAX (313) 496-7500

ANN ARBOR, MICHIGAN
BLOOMFIELD HILLS, MICHIGAN
BOCA RATON, FLORIDA
DETROIT, MICHIGAN
GRAND RAPIDS, MICHIGAN
KALAMAZOO, MICHIGAN
LANSING, MICHIGAN
MONROE, MICHIGAN
TRAVERSE CITY, MICHIGAN
WASHINGTON, D.C.

TRANSCRIPT INDEX

**DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY
AMENDED AND RESTATED DEVELOPMENT PLAN
AND TAX INCREMENT FINANCING PLAN
(the "Amended Plan")**

1. Certified DDA Resolution the Amended Plan and submitting to the Village for approval.
2. Amended and Restated Development Plan and Tax Increment Financing Plan.
3. Certified Village Resolution calling public hearing.
4. Affidavit of Publication of first Notice of Public Hearing.
5. Affidavit of Publication of second Notice of Public Hearing.
6. Affidavit of Mailing of Notice of Public Hearing.
7. Affidavit of Posting of Notice of Public Hearing.
8. Certified Minutes from Public Hearing dated 8/18/92
9. Certified Ordinance 92-4 Adopting Amended Plan.
10. Affidavit of Publication of Ordinance 92-4 and published copy.

RESOLUTION OF THE BOARD OF THE
DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY
APPROVING AMENDED AND RESTATED DEVELOPMENT PLAN
AND TAX INCREMENT FINANCING PLAN

REGULAR

Minutes of a ~~special~~ meeting of the Board of the Dundee
Downtown Development Authority, Village of Dundee, County of
Monroe, Michigan, held on the 20th day of July, 1992, at
~~8:00~~ o'clock p.m., Eastern Daylight Time.
7:00

PRESENT: Members FRESHOUR REAUME WILLIAMS WILEY
BODINE BRONSON

ABSENT: Members BONNETTE SPAULDING MASSINGILL

The following preamble and resolution were offered by Member
REAUME and support by Member
FRESHOUR:

WHEREAS, the Village of Dundee, County of Monroe, Michigan
(the "Village") is authorized by the provisions of Act 197, Public
Acts of Michigan, 1975, as amended ("Act 197"), to create a
downtown development authority and a downtown development district;
and

WHEREAS, the Village Council of the Village duly established
the Dundee Downtown Development Authority (the "Authority") which
exercises its powers within the Downtown District designated by the
Village Council (the "District"); and

WHEREAS, in compliance with the provisions of Act 197, on May
31, 1988, the Village Council approved a Development Plan and Tax
Increment Financing Plan (the "Plan"); and

WHEREAS, the Authority proposes to finance certain additional
projects not specified in the Plan by issuance by the Authority or
by the Village of bonds or other evidences of indebtedness (the
"Bonds"); and

WHEREAS, in order proceed with the additional projects and to
permit the issuance of the bonds, it is necessary to amend and
restate the Plan and to submit the amended and restated plan in the
form attached hereto as Exhibit A (the "Amended Plan") to the
Village Council for approval following a public hearing; and

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF THE AUTHORITY
THAT:

1. It is hereby determined that it is in the best interest
of the public to approve the Amended Plan as proposed to enable the
Authority to carry out its purposes more effectively.

2. The Secretary of the Authority is hereby directed to transmit a copy of the Amended Plan together with a certified copy of this resolution to the Village Council for further action as contemplated by Act 197 and to request the Village Council to call a public hearing on the Amended Plan.

3. Prior to the public hearing to be held by Village Council with respect to the Plan, the Authority shall fully inform the members of the County Board of Commissioners of the County of Monroe and the members of any school board of any school district or other taxing authority in which any portion of the Development Area described in the Plan is located of the fiscal and economic implications of the Amended Plan.

4. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution shall be, and the same hereby are, rescinded, but only to the extent of such conflict.

AYES: FRESHOUR REAUME WILLIAMS WILEY BODINE
BRUNSON

NAYS: NONE

RESOLUTION DECLARED ADOPTED.


Secretary

I hereby certify that the foregoing is a true and complete copy of a resolution adopted by the Downtown Development Authority of the Village of Dundee, County of Monroe, State of Michigan at a ~~special~~ meeting held on July 20, 1992 and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

REGULAR


Secretary

VILLAGE OF DUNDEE
RESOLUTION 92- 20

RESOLUTION CALLING HEARING REGARDING
APPROVAL OF AMENDED AND RESTATED DEVELOPMENT PLAN
AND TAX INCREMENT FINANCING PLAN
OF THE DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY

Minutes of a regular meeting of the Village Council of the Village of Dundee, County of Monroe, Michigan, held in said Village on the 21st day of July, 1992, at 8:00 o'clock p.m., Eastern Daylight Time.

PRESENT: Members President Williams, Clerk Miller, Trustees Rigel, Schuler, Lincoln, Lowery, & Powell

ABSENT: Members Trustee Frear

The following preamble and resolution were offered by Member Powell and support by Member Schuler:

WHEREAS, the Village of Dundee (the "Village") is authorized by the provisions of Act 197, Public Acts of Michigan, 1975, as amended ("Act 197"), to create a downtown development authority; and

WHEREAS, pursuant to Act 197, the Village Council of the Village duly established the Dundee Downtown Development Authority (the "Authority") which exercises its powers within the Downtown District designated by the Village Council (the "District"); and

WHEREAS, in 1988 the Authority prepared and submitted to the Village a Development Plan and Tax Increment Financing Plan which was approved by the Village following public hearing, (the "Plan"); and

WHEREAS, in accordance with the provisions of Act 197, the Authority has prepared and submitted to the Village Council for approval an Amended and Restated Development Plan and Tax Increment Financing Plan (the "Amended Plan"); and

WHEREAS, prior to approval of the Amended Plan, it is necessary to conduct a public hearing in connection with the consideration of such proposed ordinance as required by Act 197.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. The Village Council hereby acknowledges receipt of the Amended Plan from the Authority and directs the Village Clerk to submit the Amended Plan to all local taxing jurisdictions within the Authority's District.

2. There shall be a public hearing on Tuesday the 18th day of August, 1992, at 7:30 o'clock, p.m., Eastern Daylight Time, in the Village to consider adoption by the Village Council of an ordinance approving the Authority's Amended Plan.

3. The Village Clerk shall cause notice of said public hearing to be published twice in the Monroe Evening News, a newspaper of general circulation in the Village, twice before the public hearing. The first such notice shall be published not less than 20 days before the date set for the public hearing and shall be published as a display advertisement prominent in size. The Clerk also shall cause the notice to be mailed by first class mail not less than 20 days prior to the hearing to all property taxpayers of record in the Authority's District as shown by the most recent tax roll of the Village. The Clerk also shall post, or cause the posting of, the notice in at least 20 conspicuous and public places in the proposed downtown district not less than 20 days before the hearing.

4. The notice of the hearing shall be in substantially the following form:

Village of Dundee
County of Monroe, Michigan

**NOTICE OF PUBLIC HEARING
ON AMENDED AND RESTATED
DEVELOPMENT PLAN AND
TAX INCREMENT FINANCING PLAN OF THE
DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY**

TO ALL INTERESTED PERSONS IN THE VILLAGE OF DUNDEE:

PLEASE TAKE NOTICE that the Village Council of the Village of Dundee, County of Monroe, Michigan, will hold a public hearing on Tuesday, the 18th day of August, 1992, at 7:30 o'clock, p.m., Eastern Standard Time, in the Village Council Chambers located at 242 Toledo Street, Dundee, Michigan, to consider the adoption of an ordinance approving an Amended and Restated Development Plan and Tax Increment Financing Plan for the Dundee Downtown Development Authority pursuant to Act 197 of the Public Acts of Michigan of 1975, as amended.

The boundaries of the development area to which the amendments to the Plan apply are generally described as follows:

Properties within the downtown and along Monroe Street (M-50) and Tecumseh Street (M-50) from Cass Street to US-23; Park Place; Riley Street from Tecumseh Street to service alley adjacent to Village Hall; Main Street from Tecumseh Street to Macomb Street intersection; and the Ford Mill property.

Copies of the proposed Amended and Restated Development Plan and Tax Increment Financing Plan, maps, plats, etc. are on file for inspection at the office of the Village Clerk located at 145 Riley Street., Dundee, Michigan.

At the public hearing, all interested persons desiring to address the Village Council will be afforded an opportunity to be heard in regard to the approval of the Amended and Restated Development Plan and Tax Increment Financing Plan.

PERSONS REQUIRING REASONABLE ACCOMMODATION TO DISABILITIES IN ORDER THAT THE HEARING BE ACCESSIBLE TO THEM ARE REQUESTED TO NOTIFY THE VILLAGE CLERK NO LATER THAN 5 BUSINESS DAYS PRIOR TO THE DATE OF THE HEARING OF SUCH DISABILITY.

FURTHER INFORMATION may be obtained from the Village Clerk.

This notice is given by order of the Village Council of the Village of Dundee, County of Monroe, Michigan.

Mary Miller
Village Clerk

5. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution be and the same hereby are rescinded.

AYES: Members President Williams, Trustees Rigel, Schuler, Lincoln,
Lowery & Powell

NAYS: Members NONE

RESOLUTION DECLARED ADOPTED.

Mary E Miller
Village Clerk

I hereby certify that the foregoing is a true and complete copy of a resolution adopted by the Village Council of the Village of Dundee, County of Monroe, State of Michigan, at a regular meeting held on July 21, 1992, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, as amended, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Mary C. Mellor
Village Clerk

STATE OF MICHIGAN SS
COUNTY OF MONROE

VILLAGE OF DUNDEE
COUNTY OF MONROE, MICHIGAN
NOTICE OF PUBLIC HEARING
ON AMENDED AND RESTATED
DEVELOPMENT PLAN AND
TAX INCREMENT FINANCING PLAN OF THE
DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY
TO ALL INTERESTED PERSONS IN THE VILLAGE OF DUNDEE:

PLEASE TAKE NOTICE that the Village Council of the Village of Dundee, County of Monroe, Michigan, will hold a public hearing on Tuesday, the 18th day of August, 1992, at 7:30 o'clock p.m., Eastern Daylight Savings Time, in the Village Council Chambers located at 242 Toledo Street, Dundee, Michigan, to consider the adoption of an ordinance approving an Amended and Restated Development Plan and Tax Increment Financing Plan for the Dundee Downtown Development Authority pursuant to Act 197 of the Public Acts of Michigan of 1975, as amended.

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This notice is given by order of the Village Council of the Village of Dundee, County of Monroe, Michigan.

Mary Miller
Village Clerk

I, _____, duly sworn, says that she is the Treasurer of a newspaper published in the English language of local or transmitted news and letter and legal news and which is a duly published and circulated in the County of _____ Michigan. This is a printed copy taken from said newspaper published in said newspaper for _____ first publication thereof was on the _____ day of _____ A.D. 19 _____ and the last _____ day of _____ July.

Janet L. Latondress

Subscribed and sworn to before me this 27th day of July

Janet L. Latondress

Notary Public, Monroe County, Mich.

JANET L. LATONDRESS

Notary Public, Monroe County, Michigan

COMMISSION EXPIRES NOVEMBER 20, 1994

10. FRONLID'S
135 RILEY ST
11. SWEAT SHOP
129 RILEY ST.
12. WHENTON PHARMACY
115 RILEY ST
13. BOIE INSURANCE
107 RILEY STREET
14. VIKING BARBER SHOP.
103 RILEY STREET
15. FARMER'S MK+
601 TECUMSEH ST
16. INDEPENDENT DAIRY
343 TECUMSEH ST.
17. MCDONALD'S
542 TECUMSEH ST
18. COMFORT INN
601 TECUMSEH ST
19. WENDY'S
549 TECUMSEH ST
20. DE RHINLEY
421 TECUMSEH ST

21. THE BEARDLINE

125 RILEY ST

Lucrecia S. Wiley

22. BURGER KING

611 TECUMSEH ST.

23. SWEET THINGS DONUTS
208 TECUMSEH ST

Subscribed and sworn to before me
this 24 day of July, 1992.

[Signature]

Notary Public, Monroe County, Michigan

My commission expires: 3/13/95

V. LEHR ROE, NOTARY PUBLIC
MONROE COUNTY, STATE OF MICHIGAN
MY COMMISSION EXPIRES 03-13-95

DEFS209472.11025199-00004

24. DUNDEE POST OFFICE
219 WEST 177 DUNDEE ST.

Village of Dundee
County of Monroe, Michigan

**NOTICE OF PUBLIC HEARING
ON AMENDED AND RESTATED
DEVELOPMENT PLAN AND
TAX INCREMENT FINANCING PLAN OF THE
DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY**

TO ALL INTERESTED PERSONS IN THE VILLAGE OF DUNDEE:

PLEASE TAKE NOTICE that the Village Council of the Village of Dundee, County of Monroe, Michigan, will hold a public hearing on Tuesday, the 18th day of August, 1992, at 7:30 o'clock, p.m., Eastern Standard Time, in the Village Council Chambers located at 242 Toledo Street, Dundee, Michigan, to consider the adoption of an ordinance approving an Amended and Restated Development Plan and Tax Increment Financing Plan for the Dundee Downtown Development Authority pursuant to Act 197 of the Public Acts of Michigan of 1975, as amended.

The boundaries of the development area to which the amendments to the Plan apply are generally described as follows:

Properties within the downtown and along Monroe Street (M-50) and Tecumseh Street (M-50) from Cass Street to US-23; Park Place; Riley Street from Tecumseh Street to service alley adjacent to Village Hall; Main Street from Tecumseh Street to Macomb Street intersection; and the Ford Mill property.

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PERSONS REQUIRING REASONABLE ACCOMMODATION TO DISABILITIES IN ORDER THAT THE HEARING BE ACCESSIBLE TO THEM ARE REQUESTED TO NOTIFY THE VILLAGE CLERK NO LATER THAN 5 BUSINESS DAYS PRIOR TO THE DATE OF THE HEARING OF SUCH DISABILITY.

FURTHER INFORMATION may be obtained from the Village Clerk.

This notice is given by order of the Village Council of the Village of Dundee, County of Monroe, Michigan.

Mary Miller
Village Clerk

Dated: July 24, 1992

AFFIDAVIT OF MAILING NOTICE OF PUBLIC HEARING

STATE OF MICHIGAN)
 : ss.
COUNTY OF MONROE)

I, PATRICK H. BURTON, being first duly sworn, depose and say that I personally prepared the Notice of Public Hearing regarding the approval of an Amended and Restated Development Plan and Tax Increment Financing Plan of the Dundee Downtown Development Authority by the Village Council of the Village of Dundee, County of Monroe, Michigan (the "Village") a copy of which Notice is attached hereto and made a part hereof, for mailing to each record owner of or party in interest in property included in the area described in said Notice as shown on the last local tax assessment record of the Village; that I personally checked each envelope against the list of such persons and that each envelope was properly addressed to each such person as shown on said tax assessment records; that each said envelope contained therein the appropriate Notice as aforesaid and was clearly addressed and securely sealed and carried postage fully prepaid for first class mail delivery; that I personally placed all of said envelopes in a United States Post Office receptacle on July 23, 1992.

Patrick H. Burton

Subscribed and sworn to
before me this 23rd day of
July, 1992

Judith A. Cowen

Notary Public
County, Michigan
My Commission expires: 12/5/93

JUDITH A. COWEN
Notary Public, Monroe County, Mi
My Commission Expires Dec. 5, 1993

Village of Dundee
County of Monroe, Michigan

**NOTICE OF PUBLIC HEARING
ON AMENDED AND RESTATED
DEVELOPMENT PLAN AND
TAX INCREMENT FINANCING PLAN OF THE
DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY**

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FURTHER INFORMATION may be obtained from the Village Clerk.

This notice is given by order of the Village Council of the Village of Dundee, County of Monroe, Michigan.

Mary Miller
Village Clerk

Dated: July 24, 1992

DUNDEE VILLAGE COUNCIL
PUBLIC HEARING
AUGUST 18, 1992

MINUTES

A Public Hearing was called to order at 7:30 p.m. by President Williams on August 18, 1992. Present were President Williams, Clerk Miller, Trustees Lincoln, Lowery, Powell and Frear. Also present were Village Manager Burtch, Village Assessor Barbosa, Tanya Whitaker, and twenty seven interested citizens. President Williams noted that the public hearing was being held regarding an amended DDA Plan & Tax Increment Financing Plan. Absent were Trustees Rigel and Schuler.

John Iacoangeli, retained by the DDA, explained the DDA's plan to improve the downtown district involving eighteen basic improvements previously outlined at public meetings.

President Williams, Ron Bodine-Chairman of DDA, and Village Manager Burtch responded to questions from citizens present.

The owner of Deb's Tasty Freeze voiced her objections regarding a tree planted in front of her place of business. President Williams stated that if the growth of the tree creates a problem at a later date, it will be dealt with then.

Planting of trees in the Village was discussed at length.

With no further input from citizens present, it was moved by Trustee Powell and supported by Trustee Lowery to adjourn at 7:53 p.m.

Mary C. Miller
Village Clerk

CERTIFICATION:

I, Mary C. Miller, duly elected Clerk of the Village of Dundee, hereby certify that the above is a true and compared copy of the Minutes of the Public Hearing held August 18, 1992 by the Village Council of the Village of Dundee, Michigan.

Mary C. Miller

Mary C. Miller
Village Clerk

September 4, 1992

the village of

D U N D E E

24 July 1992

Board of Trustees
MONROE COUNTY COMMUNITY COLLEGE
1555 South Custer Road
Monroe, MI 48161

Dear Trustees:

The Dundee Downtown Development Authority, Village of Dundee, County of Monroe, State of Michigan (the "DDA") has approved an Amended and Restated Development Plan and Tax Increment Financing Plan ("the Plan") of the Village of Dundee, County of Monroe, State of Michigan ("the Village") for the Development Area described in the Plan (the "Development Area") and has forwarded a copy of the Plan to the Village Council of the Village, for review and approval following appropriate notice and public hearing. A copy of the Plan is enclosed with this letter.

The Village Council is calling a public hearing to consider the Plan on August 18, 1992. Notice of the hearing will be posted, mailed and published in accordance with the law.

The DDA and the Village Council welcome your comments on the proposed Plan. Representatives of the DDA and the Village would be happy to discuss the proposed Plan at your convenience. The DDA officially invites you to attend a regular meeting of the DDA to be held August 17, 1992 in the Village Council Chambers, located at 242 Toledo Street, at 7:00 o'clock p.m., to discuss the proposed Plan. If you are unable to attend at that time, please contact Patrick H. Burich, Village Manager to schedule an alternate time and place for a meeting with representatives of the DDA.

If you have any questions regarding the proposed Plan, please feel free to contact me at (313)529-5558, or John Iacoangeli, at Beckett and Raeder, (313)663-2622.

Sincerely,

DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY



Art Bronson
Secretary



DUNDEE VILLAGE COUNCIL PUBLIC HEARING AUGUST 18, 1992

Minutes

A Public Hearing was called to order at 7:30 p.m. by President Williams on August 18, 1992. Present were President Williams, Clerk Miller, Trustees Lincoln, Lowery, Powell, and Frear. Also present were Village Manager Burch, Village Assessor Barbosa, Tanya Whitaker, and twenty seven interested citizens. President Williams noted that the public hearing was being held regarding an amended DDA Plan & Tax Increment Financing Plan. Absent were Trustees Rigel and Schuler.

John Iaccangeli, retained by the DDA,

explained the DDA's plan to improve the downtown district involving eighteen basic improvements previously outlined at public meetings.

President Williams, Ron Bodine-Chairman of the DDA, and Village Manager Burch responded to questions from citizens present.

The owner of Deb's Tasty Freeze voiced her objections regarding a tree planted in front of her place of business. President Williams stated that if the growth of the tree creates a problem at a later date, it will be dealt with then.

Planting of trees in the Village was discussed at length.

With no further input from citizens present, it was moved by Trustee Powell and supported by Trustee Lowery to adjourn at 7:53 p.m.

Mary C. Miller
Village Clerk

DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY

Meeting of August 17, 1992

Minutes

The meeting was called to order by Chairman Ron Bodine at 7:00 p.m. in the Village Council Chambers. Mr. Bodine noted that proper notice was posted about the change of meeting place. Board members present were John Williams, Charlotte Freshour, Rebecca Wiley, Joan Bonneite, Vaughn Massingill and Kathy Reaume. Excused absence: Art Bronson. Unexcused: Doug Spaulding. Also attending was Village Manager Pat Burch, John Iaccangeli, Leroy Meyer and Charles

Curtis, Monroe County Administrator. Mr. Bodine noted a quorum was present.

Mrs. Reaume moved with support from Mrs. Freshour to approve the minutes of the last meeting. Motion passed.

No bills were presented for payment. The agenda was approved as printed. There was no financial report.

The street tree program was reviewed noting the changes for the island west of US 23 as required by MDOT.

A brief discussion was held on the TIF and Developmental Plan amendments. Mr. Curtis stated the County had no objections to the revised plans. There were no other comments.

The meeting was adjourned at 7:10 p.m.

Respectfully submitted,
Art Bronson, Secretary

DUNDEE VILLAGE COUNCIL REGULAR MEETING AUGUST 18, 1992

Minutes

A Regular Meeting of the Dundee Village Council was held August 18, 1992 in the Community Center Council Chambers. The meeting was called to order at 8:16 p.m. by President Williams. Present were President Williams, Clerk Miller, Trustees Lincoln, Lowery, Powell and Frear. Also present were Village Manager Burch, Village Assessor Barbosa, Tanya Whitaker and sixteen interested citizens. Absent were Trustees Rigel and Schuler.

The Pledge of Allegiance was recited.

It was moved by Trustee Powell and supported by Trustee Lincoln to accept the meeting agenda with the following addition: under New Business, item (d) Purchase of New Tables. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

It was moved by Trustee Powell and supported by Trustee Lincoln to approve as printed the minutes of the regular meeting of 8/4/92 with the following addition: under Old Business, Regarding Appointments to Boards, add: if committees have recommendations, a letter should be forwarded to President Williams and Council. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

PETITIONS & COMMUNICATIONS

(a) Citizens Comments on Non-Agenda Items

(b) Treasurer's Report-Contained in Packet

(c) Assessor's Report-On File in Clerk's Office

(d) Village Planning Commission Regular Meeting Minutes of 8/3/92

(e) County Government Status Report form County Commissioner Lehr Roe

(f) Letter dated August 15, 1991 and Memo Dated August 11, re: Debt capture by DDA Tax Increment District (Note: Public Hearing Info)

Items (a), (d), (e), & (f) noted with no discussion held.

Thereafter, it was moved by Trustee Lincoln and supported by Trustees Powell to accept the Petitions & Communications. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

OLD BUSINESS

(a) It was moved by Trustee Powell and supported by Trustee Lincoln to approve Ordinance 92-4 approving Amended and Restated Development Plan & Tax Increment Financing plan for the Dundee Downtown Development Authority. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(b) After discussion, it was moved by Trustee Powell and supported by Trustee Lincoln to recommend that Village Manager hire Hoover Wells of Toledo, Ohio to install floor, main hall only as per Village Manager's recommendation, in Community Center at a cost not to exceed \$15,842.00. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(c) It was moved by Trustee Lincoln and supported by Trustee Powell to adopt Resolution 92-23, Cass Street Assessment #3 Tentatively Determining to Make the Improvement and Ordering Assessment Roll Preparation. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(d) It was moved by Trustee Powell and supported by Trustee Lincoln to adopt Resolution 92-24, Cass Street Assessment #4 Determining to Make the Improvements and Calling a Public Hearing on the Assessment Roll. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(e) After lengthy discussion, it was moved by Trustee Powell and supported by Trustee Lincoln to accept Village Manager's recommendation to hire Spaulding Construction to install windows in the Community Center at a cost not to exceed \$3,000. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(f) It was moved by Trustee Powell and

supported by Trustee Lincoln to authorize Village Manager to hire Wilson Backhoe for pavement of Cass Street extension at a cost of \$13,960 provided 5th Resolution is adopted at 9/1/92 meeting. Included is pavement repair not to exceed \$1500. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

NEW BUSINESS

(a) It was moved by Trustee Lowery and supported by Trustee Powell to pay one half of boring cost for new water service at Steve Wilcox residence which has been completed. Roll call: Trustee Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(b) It was moved by Trustee Powell and supported by Trustee Lincoln to adopt Resolution 92-25 Stipulating Repayment Provisions to Robert L. & Helen M. Rose, owners of Parcel #42-040-172-00, for installation costs associated with extension of public water & sewer main on Cass Street. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(c) It was moved by Trustee Lincoln and supported by Trustee Powell to pay the following bill as presented:

General Fund	\$28,536.33
Major Highway	\$ 2,643.91
Local Highway	\$ 4,877.92
DDA	\$ 7,742.91
W/S Oper & Maint	\$38,248.33
Parks & Rec	\$ 1,550.76
Total	\$83,800.16

Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

(d) After lengthy discussion, it was moved by Trustee Powell and supported by Trustee Lincoln to purchase 15 round tables for the community center, with the help of Diamond Electric, at a cost not to exceed \$119 each. Roll call: Trustees Lincoln-yea, Lowery-yea, Powell-yea, Frear-yea, and President Williams-yea. Motion carried.

After general discussion, it was moved by Trustee Lincoln and supported by Trustee Powell to adjourn at 9:25 p.m.

Mary C. Miller
Village Clerk

ORDINANCE NO. 92-4
APPROVING AMENDED AND RESTATED DEVELOPMENT PLAN
AND TAX INCREMENT FINANCING PLAN
FOR THE DUNDEE DOWNTOWN DEVELOPMENT AUTHORITY

WHEREAS, the Dundee Downtown Development Authority (the "Authority") has prepared and recommended for approval an Amended and Restated Development Plan and Tax Increment Financing Plan (the "Amended Plan") for the Development Area in the Downtown District within the Village of Dundee (the "Village"); and;

WHEREAS on August 18, 1992, the Village Council held a public hearing on the Amended Plan for the Authority's Development Area in the Downtown District pursuant to Act 197, Public Acts of Michigan, 1975, as amended (the "Act"); and,

WHEREAS the Village Council has given the taxing jurisdictions in which the Development Area is located an opportunity to meet with the Village Council and to express their views and recommendations regarding the Amended Plan, as required by the Act.

NOW, THEREFORE, THE VILLAGE OF DUNDEE ORDAINS:

1. Findings.

(a) The Development Plan portion of the Amended Plan meets the requirements set forth in section 17(2) of the Act, and the Tax Increment Financing Plan portion of the Amended Plan meets the requirements set forth in section 14(2) of the Act.

(b) The proposed method of financing the development is feasible, and the Authority has the ability to arrange the financing.

(c) The development is reasonable and necessary to carry out the purposes of the Act.

(d) Any land included within the Development Area to be acquired is reasonably necessary to carry out the purposes of the Act.

(e) The Development Plan portion of the Amended Plan is in reasonable accord with the master plan of the Village.

(f) Public services, such as fire and police protection and utilities, are or will be adequate to service the Development Area.

(g) Changes in zoning, streets, street levels, intersections, and utilities, to the extent required by the Amended Plan, are reasonably necessary for the Amended Plan and for the Village.

2. Public Purpose. The Village Council hereby determines that the Amended Plan constitutes a public purpose.

3. Best Interest of the Public. The Village Council hereby determines that it is in the best interests of the public to halt property value deterioration, increase property tax valuation, eliminate the causes of the deterioration in property values, and to promote growth in the Downtown District to proceed with the Amended Plan.

4. Approval and Adoption of Amended Plan. The Amended Plan is hereby approved and adopted. A copy of the Amended Plan and all later amendments thereto shall be maintained on file in the Village Clerk's office.

5. Conflict and Severability. All ordinances, resolutions and orders or parts thereof in conflict with the provisions of the Ordinance are to the extent of such conflict hereby repealed, and each section of the Ordinance and each subdivision of any section thereof is hereby declared to be independent, and the finding or holding of any section or subdivision thereof to be invalid or void shall not be deemed or held to affect the validity of any other section or subdivision of the Ordinance.

6. Paragraph Headings. The paragraph headings in this Ordinance are furnished for convenience of reference only and shall not be considered to be a part of the Ordinance.

7. Publication and Recordation. The Ordinance shall be published in full promptly after its adoption in the Monroe Evening News, a newspaper of general circulation in the Village, qualified under State law to publish legal notices, and shall be recorded in the Ordinance Book of the Village, which recording shall be authenticated by the signature of the Village Clerk.

8. Effective Date. The Ordinance is hereby determined by the Village Council to be immediately necessary for the interests of the Village and shall be in full force and effect from and after its passage and publication as required by law.

Passed and adopted by the Village Council of the Village of Dundee, County of Monroe, State of Michigan, on August 18, 1992, and approved by the Village Supervisor on 8-18, 1992.

AYES: Members Lynch, Lowery, Powell, Frear
& President Williams

ABSENT: Members Rigel & Schuler

NAYS: Members NONE

ORDINANCE DECLARED ADOPTED.

Mary C. Meller
Village Clerk

I hereby certify that the foregoing is a true and complete copy of an Ordinance No. 92-4 adopted by the Village Council of the Village of Dundee, County of Monroe, Michigan at a regular meeting held on August 18, 1992, and that said meeting was conducted and public notice of said meeting was given pursuant to an in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Mary C. Miller
Village Clerk

STATE OF MICHIGAN SS
COUNTY OF MONROE

PAID PUBLIC NOTICE

ORDINANCE NO. 92-4
APPROVING AMENDED AND
RESTATED DEVELOPMENT PLAN
AND TAX INCREMENT
FINANCING PLAN FOR THE
DUNDEE DOWNTOWN
DEVELOPMENT AUTHORITY

WHEREAS, the Dundee Downtown Development Authority (the "Authority") has prepared and recommended for approval an Amended and Restated Development Plan and Tax Increment Financing Plan (the "Amended Plan") for the Development Area in the Downtown District within the Village of Dundee (the "Village"); and,

WHEREAS on August 18, 1992, the Village Council held a public hearing on the Amended Plan for the Authority's Development Area in the Downtown District pursuant to Act 197, Public Acts of Michigan, 1975, as amended (the "Act"); and,

WHEREAS the Village Council has given the taxing jurisdictions in which the Development Area is located an opportunity to meet with the Village Council and to express their views and recommendations regarding the Amended Plan, as required by the Act.

NOW, THEREFORE, THE VILLAGE OF DUNDEE ORDAINS:

1. Findings.

(a) The Development Plan Portion of the Amended Plan meets the requirements set forth in section 17(2) of the Act, and the Tax Increment Financing Plan portion of the Amended Plan meets the requirements set forth in section 14(2) of the Act.

(b) The proposed method of financing the development is feasible, and the Authority has the ability to arrange the financing.

(c) The development is reasonable and necessary to carry out the purposes of the Act.

(d) Any land included within the Development Area to be acquired is reasonably necessary to carry out the purposes of the Act.

(e) The Development Plan portion of the Amended Plan is in reasonable accord with the master plan of the Village.

(f) Public services, such as fire and police protection and utilities, are or will be adequate to service the Development Area.

(g) Changes in zoning, streets, street levels, intersections, and utilities, to the extent required by the Amended Plan, are reasonably necessary for the Amended Plan and for the Village.

2. Public Purposes. The Village Council hereby determines that the Amended Plan constitutes a public purpose.

3. Best Interest of the Public. The Village Council hereby determines that it is in the best interests of the public to halt property value deterioration, increase property tax valuation, eliminate the causes of the deterioration in property values, and to promote growth in the Downtown District to proceed with the Amended Plan.

4. Approval and Adoption of Amended Plan. The Amended Plan is hereby approved and adopted. A copy of the Amended Plan and all later amendments thereto shall be maintained on file in the Village Clerk's office.

5. Conflict and Severability. All ordinances, resolutions and orders or parts thereof in conflict with the provisions of the Ordinance are to the extent of such conflict hereby repealed and each section of the Ordinance and each subdivision of any section thereof is hereby declared to be independent, and the finding or holding of any section or subdivision thereof to be invalid or void shall not be deemed or held to affect the validity of any other section or subdivision of the Ordinance.

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7. Publication and Recordation. The Ordinance shall be published in full promptly after its adoption in the Monroe Evening News, a newspaper of general circulation in the Village, qualified under State law to publish legal notices, and shall be recorded in the Ordinance Book of the Village, which recording shall be authenticated by the signature of the Village Clerk.

8. Effective Date. This Ordinance is hereby determined by the Village Council to be immediately necessary for the interests of the Village and shall be in full force and effect from and after its passage and publication as required by law.

Passed and adopted by the Village Council of the Village of Dundee, County of Monroe, State of Michigan, on August 18, 1992, and approved by the Village Clerk on August 18, 1992.

R. L. Machcinski, being first duly sworn, says that she is the Treasurer of The Monroe Evening News, a newspaper published in the English language for the dissemination of local or transmitted news and intelligence of a general character and legal news and which is a duly qualified newspaper, printed, published and circulated in the County of Monroe. The annexed notice is a printed copy taken from said newspaper, and has been duly published in said newspaper for one insertions, and that the first publication thereof was on the 24th day of August A.D. 19 92 and the last publication thereof was on the 24th day of August A.D. 19 92.

R. L. Machcinski

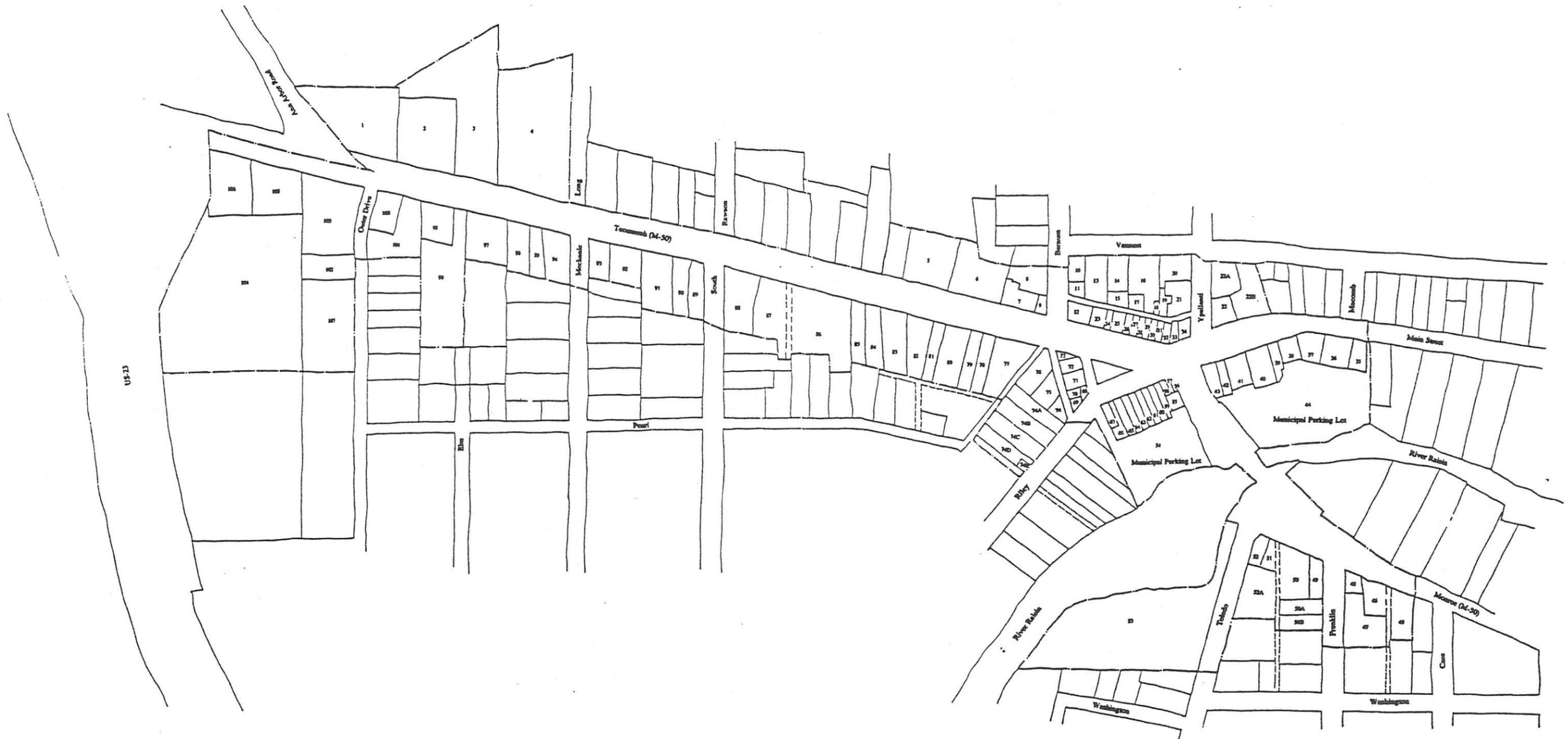
Sworn to and subscribed before me this 24th day of August A.D. 19 92.

Janet L. Latondress

Notary Public, Monroe County, Mich.

JANET L. LATONDRESS

My commission expires _____
Notary Public, Monroe County, Michigan
My Commission Expires November 20, 1994



Parcel Map
Dundee Downtown Development Authority District

Exhibit D
1987 and 1992 Development Area
Property Information

Village of Dundee						
DOWNTOWN DEVELOPMENT AUTHORITY						
Tax Increment Financing - Real Property						
Map #	Name	1987	1988	1989	1990	1991
2	00-00-42-040-012-00 Amoco Oil Co. P.O. Box 3488 Oak Brook, IL 60522	67,375	67,375	103,350	124,150	136,550
74C	00-00-42-040-025-00 Doletta Berndt 196 Riley St. Dundee, Mi 48131	23,050	23,050	29,650	29,725	31,350
50B	00-00-42-040-028-00 Cloyd McCracken 226 Franklin St. Dundee, MI 48161	11,600	11,600	15,500	15,500	16,350
79	00-00-42-040-032-00 Larry Runles 11660 Stewart Rd. Dundee, MI 48131	21,264	22,400	24,650	26,725	28,200
46	00-00-42-040-037-00 Monroe Piston Service 1150 W. Front St. Monroe, MI 48161	18,550	18,550	18,550	21,325	23,450
87	00-00-42-040-057-00 Keith Buhl 333 Outer Drive Dundee, MI 48131	3,987	4,200	4,200	4,200	4,450
74B	00-00-42-040-065-00 Mark Walsh 184 Riley St. Dundee, MI 48131	26,900	26,900	30,850	30,875	32,550
51	00-00-42-040-074-00 Gail Neiman 329 Monroe St. Dundee, MI 48131	2,895	3,050	3,050	3,050	3,200
76	00-00-42-040-076-00 Dundee TV & Appliances Inc 177 Tecumseh St Dundee, MI 48131	18,750	18,750	18,750	20,150	22,150
56	00-00-42-040-077-00 Keith Baranowski 150 Penfield Dundee, MI 48131	7,500	7,500	7,500	7,500	8,250

Map #	Name	1987	1988	1989	1990	1991
1	00-00-42-040-083-00 Mobile Oil Corp 3225 Gallows Rd Fairfax, VA 22037	59,100	67,250	89,075	111,150	122,250
88	00-00-42-040-093-00 Independent Dairy Inc 126 North Telegraph Rd Monroe, MI 48161	51,350	51,350	51,350	56,100	61,700
60	00-00-42-040-100-00 Roger Wheaton 115 Riley St Dundee, MI 48131	10,600	10,600	10,600	10,600	11,650
74D	00-00-42-040-105-00 Terence Schumaier 391 Riley St. Dundee, MI 48131	27,500	27,500	32,700	32,450	34,250
74E	00-00-42-040-117-00 Terence Schumaier 391 Riley St Dundee, MI 48131	750	750	750	750	800
62	00-00-42-040-121-00 Mickey & Charlotte Freshour 125 Riley St Dundee, MI 48131	15,275	15,275	15,275	15,275	16,800
13	00-00-42-040-140-00 Hollis Hurst 12084 Wabash Rd. Milan, MI 48160	16,945	18,175	19,700	19,700	20,800
73	00-00-42-040-146-00 Geoffery Oakley 728 Michigan Ave. Monroe, MI 48161	9,600	9,600	9,600	9,600	10,550
16	00-00-42-040-147-00 Edwin Baranowski 620 Riley St Dundee, MI 48131	20,410	9,000	9,000	9,000	9,500
103	00-00-42-040-149-00 Dundee Associates 735 Victors Ann Arbor, MI 48104	58,475	58,475	221,125	280,250	308,300
	00-00-42-040-149-020 Fayez Khalil 35035 Ash St. New Boston, Mi 48164	0	0	0	0	43,000

Map #	Name	1987	1988	1989	1990	1991
102	00-00-42-040-149-10 Dundee Associates 735 Victors Way Ann Arbor, MI 48104	0	0	13,450	13,450	14,800
	00-00-42-040-154-00 Dundee Township 154 Main Street Dundee, MI 48131	0	0	0	0	0
67	00-00-42-040-175-00 Village of Dundee 145 Riley Street Dundee, MI 48131	0	0	0	0	0
66	00-00-42-040-177-00 Leroy Meyer 225 Tecumseh Dundee, MI 48131	8,150	8,150	8,150	8,150	8,950
53/ 54	00-00-42-040-178-00 Dundee Village 145 Riley Street Dundee, MI 48131	0	0	0	0	0
44	00-00-42-040-179-00 Dundee Village 145 Riley Street Dundee, MI 48131	0	0	0	0	0
58	00-00-42-040-193-00 Roe Insurance Agency 107 Riley St. Dundee, MI 48131	8,200	8,200	8,200	8,200	9,000
89	00-00-42-040-194-00 Paul Fitch 411 Tecumseh St. Dundee, MI 48131	12,721	13,400	16,075	16,850	17,800
35	00-00-42-040-196-00 Gary Fink 705 Strawberry St. Dundee, MI 48131	13,150	13,150	13,150	15,950	17,550
86	00-00-42-040-197-00 Robert Cover 303 Tecumseh St. Dundee, MI 48131	67,250	67,250	67,250	102,000	112,200
23	00-00-42-040-199-00 Clifford Smith 505 John Anderson Ct #59 Monroe, MI 48161	5,375	5,375	5,375	5,375	5,900

Map #	Name	1987	1988	1989	1990	1991
17	00-00-42-040-208-00 David Wadsworth 336 Barnum St Dundee, MI 48131	600	600	600	600	650
65	00-00-42-040-212-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	9,300	9,300	9,300	9,300	10,250
52A	00-00-42-040-215-00 Michael Spears 237 Toledo St Dundee, MI 48131	26,400	26,400	30,150	30,825	32,500
50	00-00-42-040-216-00 Joseph Mast 2162 West Alexis Toledo, Ohio 43613	69,150	69,150	69,150	69,150	76,050
98	00-00-42-040-217-00 Great Western Capital Corp. 9401 Oakdale Ave. Chatsworth, CA 91311	210,050	210,050	279,125	293,550	322,900
74	00-00-42-040-229-00 Wm. Houttekier 1372 Laurelhurst Temperance, MI 48182	8,250	8,250	8,250	8,250	9,100
83	00-00-42-040-232-00 Gerald Risch 261 Tecumseh St. Dundee, MI 48131	15,806	16,650	22,225	27,950	29,500
31	00-00-42-040-237-00 Frank Breitner 17945 Albain Rd. Petersburg, MI 49270	11,450	11,450	11,450	11,450	12,600
99	00-00-42-040-238-00 Great Western Capital Corp 9401 Oakdale Ave. Chatsworth, CA 91311	28,000	28,000	28,000	28,000	30,800
52	00-00-42-040-240-00 Log Cabin Laundromat 329 Monroe St. Dundee, MI 48131	21,100	27,700	27,700	27,700	30,450
20	00-00-42-040-248-00 Virgil Gensler 147 Ypsilanti Dundee, MI 48131	16,565	17,450	20,550	21,500	22,700

Map #	Name	1987	1988	1989	1990	1991
21	00-00-42-040-269-00 Myrtle Wakefield 337 Toledo St. Dundee, MI 48131	24,682	26,000	26,000	26,350	27,800
39	00-00-42-040-275-00 Debbe Hanis 152 E. Main St Dundee, MI 48131	10,950	10,950	10,950	10,950	12,050
70	00-00-42-040-276-00 Glen Hilgeneck 17194 Tecumseh Rd Dundee, MI 48131	8,700	8,700	8,700	8,700	9,550
64	00-00-42-040-277-00 Frank Furnari Sr. 665 Ruff Dr. Monroe, MI 48161	13,500	21,100	21,100	21,100	23,200
78	00-00-42-040-289-00 John. Britton 13733 S. Custer Rd. Dundee, MI 48131	15,070	15,875	15,875	20,325	21,450
27	00-00-42-040-301-00 Wallace Graham 3186 Xenia St Denver, CO 80231	10,850	10,850	10,850	10,850	11,950
55	00-00-42-040-304-00 Keith Baranowski 150 Perfield St. Dundee, MI 48131	25,150	25,150	25,150	29,325	32,250
25	00-00-42-040-321-00 Harold Moon 4308 Washtnaw Ann Arbor, MI 48108	20,425	20,425	20,425	20,425	22,450
61	00-00-42-040-333-00 Mickey & Charlotte Freshour 125 Riley St. Dundee, MI 48131	7,950	12,250	12,250	12,250	13,500
81	00-00-42-040-339-00 Larry Heck 245 Tecumseh St Dundee, MI 48131	24,373	25,675	29,200	37,175	39,200
85	00-00-42-040-348-00 John Perion 279 Tecumseh St Dundee, MI 48131	20,980	22,100	22,600	21,600	22,800

Map #	Name	1987	1988	1989	1990	1991
4	00-00-42-040-357-00 J. Glover 522 Tecumseh St Dundee, MI 48131	30,283	31,900	51,375	59,325	62,600
22	00-00-42-040-362-00 Tom's Body Shop 125 Main St. Dundee, MI 48131	24,250	24,250	24,250	24,250	26,700
74A	00-00-42-040-371-00 Wm Houttekier 1372 Laurelhurst Temperance, MI 48182	24,700	24,700	24,700	24,700	27,150
68	00-00-42-040-379-00 Odd Fellows 17848 Cake Rd Dundee, MI 48131	4,600	4,600	4,600	4,600	5,050
57	00-00-42-040-382-00 Howard Haas 8517 Stephenson Rd Onsted, MI 49265	12,250	12,250	12,250	12,250	13,500
97	00-00-42-040-385-00 Taco Bell Corp 17901 Von Karman Irvine, CA 92714	33,416	35,200	35,200	35,200	0
95	00-00-42-040-386-00 Clifford Meyer 519 Tecumseh St Dundee, MI 48131	17,752	18,700	23,075	23,075	24,350
82	00-00-42-040-387-00 Leroy Meyer 225 Tecumseh St. Dundee, MI 48131	15,094	15,900	18,700	18,700	19,750
59	00-00-42-040-393-00 Roger Wheaton 115 Riley St Dundee, MI 48131	8,950	8,950	8,950	8,950	9,850
30	00-00-42-040-406-00 Charles Reifert 654 Maple St. Dundee, MI 48131	9,550	9,550	9,550	9,550	10,500
29	00-00-42-040-408-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	11,400	11,400	11,400	11,400	12,550

Former Misler Property - SEV reduced in 1991 -
Total SEV for Taco Bell Real Property in #96

Map #	Name	1987	1988	1989	1990	1991
18	00-00-42-040-409-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	617	650	650	700	750
34	00-00-42-040-410-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	29,375	29,375	29,375	29,375	32,300
40	00-00-42-040-411-00 Dundee Township Dundee, MI 48131	0	0	0	0	0
105	00-00-42-040-420-00 Emro Marketing Co. 539 South Main St. Findlay, Ohio 45840	66,550	66,550	85,375	94,750	104,250
106	00-00-42-040-420-10 CNL Income Fund 162 W. Center St P.O. Box 510	116,025	116,025	124,225	174,275	191,700
104	00-00-42-040-421-00 Roland Frechette 6444 Telegraph Rd Erie, MI 48133	0	0	565,000	1,322,000	945,800
		1991 S.E.V. reduced by Consent Judgement from Michigan Tax Tribunal.				
37	00-00-42-040-422-00 Carl Williams 180 Main St. Dundee, MI 48131	18,150	18,150	18,150	18,150	19,950
24	00-00-42-040-429-00 Dundee DDA 145 Riley St Dundee, MI 48131	1,875	1,875	1,875	1,875	0
9	00-00-42-040-431-00 Lawrence Read (Lasco) 221 E. Lewis St Milan, MI 48160	18,000	18,000	15,000	15,000	16,500
5	00-00-42-040-433-00 NBD M.C.Bank 260 Tecumseh St Dundee, MI 48131	214,525	214,525	214,525	214,525	236,000
33	00-00-42-040-435-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	11,050	11,050	11,050	11,050	12,150

Map #	Name	1987	1988	1989	1990	1991
48	00-00-42-040-442-00 Jack & Joan Cawood 497 Riley St Dundee, MI 48131	0		4,500	4,500	4,950
84	00-00-42-040-445-00 Ilene McCrea 271 Tecumseh St. Dundee, MI 48131	17,942	18,900	24,550	24,150	25,500
11	00-00-42-040-451-00 Kathy Falls 14554 Grafton Rd. Carelton, MI 48117	9,050	9,050	9,050	9,050	9,950
32	00-00-42-040-452-00 Annette Johnson 102 Tecumseh St. Dundee, MI 48131	21,875	21,875	21,875	21,875	24,050
10	00-00-42-040-459-00 Duane Lynn 117 Van Nest St. Dundee, MI 48131	14,952	15,750	18,875	20,350	21,450
72	00-00-42-040-464-00 David Grzesick 1715 Long Lake Rd. Traverse City, MI 49684	22,000	23,300	23,300	23,300	25,650
45	00-00-42-040-482-00 Alice Eyer 271 Monroe St. Dundee, MI 48131	24,540	25,850	28,675	23,250	24,550
71	00-00-42-040-487-00 Charles Westbrook 221 Elm St. Dundee, MI 48131	23,650	23,650	27,950	27,950	30,750
94	00-00-42-040-502-00 Timothy Kuehnlien 2775 Bluebush Rd Monroe, MI 48161	21,359	22,500	26,750	28,200	29,750
41	00-00-42-040-514-00 Neil Remaklus 5821 N Ann Arbor Rd B 100 Dundee, MI 48131	34,350	34,350	34,350	37,200	40,900
47	00-00-42-040-519-00 Stoney Creek Radiator 497 Riley St Dundee, MI 48131	10,250	10,250	10,250	23,100	25,400

Map #	Name	1987	1988	1989	1990	1991
3	00-00-42-040-550-00 McDonald's Corp P.O. Box 66207 Chicago, IL 60666	229,750	235,925	302,500	321,300	353,450
96	00-00-42-040-551-00 Taco Bell Corp 17901 Von Karman Irvine, CA 92714	3,300	3,300	3,300	3,300	225,000
90	00-00-42-040-554-00 William Hurley 419 Tecumseh St. Dundee, MI 48131	12,600	12,600	17,350	17,350	18,300
26	00-00-42-040-570-00 Show To Go 2349 Wells Rd. Dundee, MI 48131	10,300	10,300	10,300	10,300	11,350
69	00-00-42-040-611-00 Bruce Bezeau 1222 Maple St. Monroe, MI 48161	9,200	9,200	9,200	9,200	10,100
43	00-00-42-040-618-00 Peter & Florence Hedwall 13751 South Custer Rd. Dundee, MI 48131	13,950	15,775	15,775	15,775	17,350
38	00-00-42-040-624-00 Monroe County Library 3700 South Custer Road Monroe, MI 48161	0	0	0	0	0
36	00-00-42-040-651-00 Carl Williams 180 Main St. Dundee, MI 48131	11,350	11,350	11,350	16,650	18,300
28	00-00-42-040-661-00 Judy Labun 1760 N. Custer Rd. Monroe, MI 48161	11,550	11,550	11,550	11,550	12,700
80	00-00-42-040-672-00 Lonny O'Lone 235 Tecumseh St. Dundee, MI 48131	27,340	28,800	32,850	32,675	34,450
77	00-00-42-040-673-00 Frosty Freeze 5925 Vandercook Monroe, MI 48161	16,600	18,200	18,200	18,200	20,000

Former Misler Property - Total SEV for Taco Bell
Real Property found in this Tax ID

Map #	Name	1987	1988	1989	1990	1991
6	00-00-42-040-680-00 Standard Federal Bank 2600 W. Big Beaver Troy, MI 48084	162,100	162,100	162,100	172,700	189,950
22B	00-00-42-040-682-00 Ronald Bodine Insurance 139 Main St Dundee, MI 48131	30,350	30,350	36,225	36,350	38,350
8	00-00-42-040-683-00 Juckette's 127 Barnum St Dundee, MI 48131	27,450	27,450	27,450	27,450	30,200
12	00-00-42-040-684-00 Juckette's 127 Barnum St Dundee, MI 48131	5,800	5,800	5,800	5,800	6,400
42	00-00-42-040-697-00 Harold Moon 4308 Washtenaw Ann Arbor MI 48108	9,800	9,800	9,800	9,800	10,800
19	00-00-42-040-701-00 David Wadsworth 336 Barnum St. Dundee, MI 48131	1,600	1,600	1,600	1,600	1,750
92	00-00-42-040-705-00 Robert Wiley 461 Tecumseh St. Dundee, MI 48131	24,500	24,500	24,500	24,500	26,950
93	00-00-42-040-707-00 Robert Wiley 461 Tecumseh St. Dundee, MI 48131	4,450	4,450	4,450	4,450	4,900
7	00-00-42-040-708-00 John Williams 300 Penfield St. Dundee, MI 48131	8,700	8,700	8,700	8,700	9,550
22A	00-00-42-040-715-00 Henry Willis 1352 Holmes Rd Ypsilanti, MI	16,850	23,800	23,800	23,800	26,200
91	00-00-42-040-718-00 Robert Wiley 461 Tecumseh St. Dundee, MI 48131	14,667	15,450	17,825	17,825	18,800

Map #	Name	1987	1988	1989	1990	1991
50A	00-00-42-040-721-00 Francis Welch 1098 Lloyd Rd. Dundee, MI 48131	9,350	9,350	9,350	17,200	18,150
63	00-00-42-040-724-00 TK Westbrook 957 Strawberry Dundee, MI 48131	12,100	12,100	12,100	12,100	13,300
101	00-00-42-120-021-00 Michael Yeck 579 Tecumseh St. Dundee, MI 48131	53,150	53,150	53,150	53,150	53,150
100	00-00-42-120-022-00 Selma Kneuve 3975 Andres Rd. Petersburg, MI 49270	10,800	10,800	10,800	10,800	11,900
		2,792,010	2,846,425	3,915,900	4,984,525	5,161,650
Village of Dundee						
DOWNTOWN DEVELOPMENT AUTHORITY						
Tax Increment Financing - Personal Property						
	Name	1987	1988	1989	1990	1991
2	00-00-42-200-002-00 Amoco Oil 2211 York Rd Oak Brook IL	5,980	27,175	21,370	19,275	16,390
43	00-00-42-200-003-00 Kevin Seegert 400 W. Monroe St. Dundee, MI 48131	0			2,000	2,000
1	00-00-42-200-005-00 Boron Oil Co Midland Building Cleveland, OH 44115	15,225	13,090	9,635	0	0
52	00-00-42-200-007-00 Log Cabin Laundromat 329 Monroe, St. Dundee, MI 48131	20,080	19,825	15,935	16,860	28,540
86	00-00-42-200-008-00 Buhl-Cover Funeral Home 303 Tecumseh St Dundee, MI 48131	6,720	5,420	6,985	7,950	7,595

Map #	Name	1987	1988	1989	1990	1991
2	00-00-42-200-013-00 Dale Cooley 568 Tecumseh St Dundee, MI 48131	1,280	1,380	4,000	7,025	7,025
9	00-00-42-200-016-00 Sweet Things Donut Shop 208 Tecumseh St. Dundee, MI 48131	Former Lasco Building Products Business through 1990 Tax Year				0
77	00-00-42-200-019-00 Deb's Frosty Freeze 209 Tecumseh St. Dundee, MI 48131	Former Coney Island Business through 1990 Tax Year				0
37	00-00-42-200-020-00 Dundee Auto Parts 180 Main St	3,580	2,175	4,100	3,425	3,235
46	00-00-42-200-021-00 James Brewer 293 Monroe St. Dundee, MI 48131	1,580	975	940	8,160	6,570
32	00-00-42-200-022-00 Dundee Bar 102 Tecumseh St. Dundee, MI 48131	6,500	6,500	6,500	3,440	3,440
52	00-00-42-200-024-00 Larry Sanford 140 Ypsilanti St Dundee, MI 48131	11,385	17,710	17,670	17,495	17,495
73	00-00-42-200-027-00 Preston & Company 167 Tecumseh St Dundee, MI 48131	0		7,440	8,500	8,500
26	00-00-42-200-028-00 Show To Go 130 Tecumseh St. Dundee, MI 48131	0		3,215	8,315	0
103	00-00-42-200-029-00 Steven-Con Inc. 735 Victors Way Ann Arbor, MI 48108	0		90,575	100,440	94,070
88	00-00-42-200-032-00 Gazelle Graphic & Publishing 106 Park Place Dundee, MI 48131	0	100	100	100	100

Map #	Name	1987	1988	1989	1990	1991
76	00-00-42-200-034-01 Dundee TV & Sales 177 Tecumseh Dundee, MI 48131	12,095	10,115	11,290	17,165	17,165
58	00-00-42-200-036-00 Robert Wakefield 276 Tecumseh St. Dundee, MI 48131	0	500	500	0	0
104	00-00-42-200-037-00 Comfort Inn 101 Outer Dr Dundee, MI 48131	0		0	232,500	86,440
35	00-00-42-200-043-00Home Winery Supply Co 208 Main St Dundee, MI 48131	145	140	145	140	140
106	00-00-42-200-050-00 Great American Resturants 1125 Ellen Kay Dr. Marion, Ohio 43302	10,500	10,500	3,160	16,680	16,680
64	00-00-42-200-052-00 Franco's Pizzeria 665 Ruff Dr. Monroe, MI 48161	7,500	7,200	17,410	16,515	15,600
	00-00-42-200-053-01 Claude Lockwood 168 Riley St Dundee, MI 48131	370	375	775	680	610
105	00-00-42-200-054-00 Emro Marketing Co. 539 S. Main St. Findlay, Ohio 45840	4,560	4,075	3,725	12,420	6,600
97	00-00-42-200-058-01 Missler & Son Sportland 537 Tecumseh ST. Dundee, MI 48131	250	200	200	200	0
41	00-00-42-200-067-00 Gambles Store 126 Main St P.O. Box 100 Dundee, MI 48131	3,550	3,550	2,035	1,930	1,830
58	00-00-42-200-068-00 V.L. Roe 107 Riley St Dundee, MI 48131	3,430	3,125	3,565	3,980	3,630

Map #	Name	1987	1988	1989	1990	1991
30	00-00-42-200-076-00 Charles Reifert 112 Tecumseh St. Dundee, MI 48131	5,600	5,135	4,700	4,325	4,690
59	00-00-42-200-077-00 Wheaton Pharmacy 115 Riley St. Dundee, MI 48131	8,425	3,860	3,570	4,110	4,110
31	00-00-42-200-082-00 Town Tavern 108 Tecumseh St. Dundee, MI 48131	3,500	3,500	3,500	12,680	2,465
28	00-00-42-200-084-00 Village Gift Shop 120 Tecumseh St. Dundee, MI 48131	1,315	1,250	1,225	1,180	360
92	00-00-42-200-087-00 Dr. Robert Wiley 461 Tecumseh St Dundee, MI 48131	16,925	16,925	3,240	3,070	2,970
8	00-00-42-200-088-00 Juckette's Service 127 Barnum St. Dundee, MI 48131	5,655	5,900	5,240	4,695	4,330
82	00-00-42-200-090-00 Wilson & Meyer Hardware 143 Riley St. Dundee, MI 48131	1,500	1,500	1,500	1,500	1,500
101	00-00-42-200-091 Yeck Antique Firearms Inc 579 Tecumseh St. Dundee, MI 48131	2,525	2,025	2,410	2,000	1,965
101	00-00-42-200-094-00 Yeck Manufacturing Co. 579 Tecumseh St. Dundee, MI 48131	465	495	460	465	465
22B	00-00-42-200-105-00 Ronald Bodine Insurance 139 Main St. P.O. Box 140 Dundee, MI 48131	0	0	3,295	4,185	4,185
62	00-00-42-200-113-01 Grapevine 125 Riley St Dundee, MI 48131	7,900	8,100	20,170	20,170	20,170

Map #	Name	1987	1988	1989	1990	1991
88	00-00-42-200-114-00 Dundee Independent 106 Park Place Dundee, MI 48131	0	500	1,000	1,500	1,500
88	00-00-42-200-114-00 Independent Dy. 126 N. Telegraph Rd. Monroe, MI 48161	3,600	5,100	3,160	3,055	3,055
29	00-00-42-200-127-00 H & R Block 116 Tecumseh St. Dundee, MI 48131	235	300	205	195	185
43	00-00-42-200-128-00 Larry Brossia Insurance 400 W. Monroe St. Dundee, MI 48131	280	300	710	665	695
3	00-00-42-200-129-00 McDonald's Corp 2350 E. Stadium STE 11 Ann Arbor, MI 48104	64,100	58,400	80,340	86,515	83,505
100	00-00-42-200-130-00 Wendy Walters 3975 Andres Rd. Petersburg, MI 49270	705	1,000	1,000	1,000	1,000
73	00-00-42-200-131-00 Mr D'S 102 Park Place Dundee, MI 48131	5,500	5,500	1,275	1,125	1,125
29	00-00-42-200-133-00 H&R Block 3545 Wastenaw Ann Arbor, MI 48104	740	670	700	665	665
42	00-00-42-200-134-00 Ready Sullivan & Ready 223 Tecumseh St. Dundee, MI 48131	160	140	180	165	0
99	00-00-42-200-142-00 Hollant Buerk Enterprises Inc. 1555 South Nevada Ave Colorado Springs, CO 80906	35,790	29,395	28,115	42,015	41,355
63	00-00-42-200-151-00 Sweat Shop 129 Riley St. Dundee, MI 48131	13,295	11,645	13,790	12,255	11,090

Map #	Name	1987	1988	1989	1990	1991
57	00-00-42-200-158-00 Viking Barber 103 Riley St. Dundee, MI 48131	1,925	1,689	1,490	1,345	1,245
22	00-00-42-200-177-00 Tom's Body Shop 126 Main St. Dundee, MI 48131	0	2,075	1,530	4,550	6,170
1	00-00-42-200-186-00 Mobil Admin Servc. Co. P.O. Box 290 Dallas, TX 75221	15,225				33,840
96	00-00-42-200-201-00 Taco Bell P.O. Box 96 Fair Lawn, NJ 07410	0	0	0	0	16,365
	Total Personal Property	320,815	311,184	426,695	742,125	602,195
DOWNTOWN DEVELOPMENT AUTHORITY						
Tax Increment Financing - Summary						
	Classification	1987	1988	1989	1990	1991
	Real Property ✓	2,792,010	2,846,425	3,915,900	4,984,525	5,161,650
349,190	Personal Property	320,815	311,184	426,695	742,125	602,195
	Total State Equalized Value	3,112,825	3,157,609	4,342,595	5,726,650	5,763,845
	Initial Base Year SEV	3,112,825				
	Captured SEV	0	44,784	1,229,770	2,613,825	2,651,020

00-00-42-040-012-00
Amoco Oil Co.
P.O. Box 3488
Oak Brook IL 60522

00-00-42-040-025-00
Doletta Bernd
196 Riley St.
Dundee MI 48131

00-00-42-040-028-00
Cloyd McCracken
226 Franklin St.
Dundee MI 48131

00-00-42-040-032-00
Larry Runles
11660 Stewart Road
Dundee MI 48131

00-00-42-040-037-00
Monroe Piston Service
1150 West Front St.
Monroe MI 48161

00-00-42-040-057-00
Keith Buhl
333 Outer Drive
Dundee MI 48131

00-00-42-040-065-00
Mark Walsh
184 Riley Street
Dundee MI 48131

00-00-42-040-074-00
Gail Neiman
329 Monroe Street
Dundee MI 48131

00-00-42-040-076-00
Dundee TV & Appliances Inc.
177 Tecumseh St.
Dundee MI 48131

00-00-42-040-077-00
Keith Baranowski
150 Penfield
Dundee MI 48131

00-00-42-040-083-00
Mobil Oil Corp.
3225 Gallows Road
Fairfax VA 22037

00-00-42-040-093-00
Independent Dairy Inc.
126 North Telegraph
Monroe MI 48161

00-00-42-040-100-00
Roger Wheaton
115 Riley
Dundee MI 48131

00-00-42-040-105-00
Terence Schumaier
391 Riley St.
Dundee MI 48131

00-00-42-040-117-00
Terence Schumaier
391 Riley St.
Dundee MI 48131

00-00-42-040-121-00
Mickey & Charlotte Freshour
125 Riley St.
Dundee MI 48131

00-00-42-040-140-00
Hollis Hurst
12084 Wabash Rd.
Milan MI 48160

00-00-42-040-146-00
Geoffery Oakley
728 Michigan Avenue
Monroe MI 48161

00-00-42-040-147-00
Edwin Baranowski
620 Riley St.
Dundee MI 48131

00-00-42-040-149-00
Dundee Associates
735 Victors
Ann Arbor MI 48104

00-00-42-040-149-020
Frayez Khalil
35035 Ash St.
New Boston, MI 48164

00-00-42-040-149-10
Dundee Associates
735 Victors Way
Ann Arbor, MI 48104

00-00-42-040-154-00
Dundee Township
154 Main Street
Dundee MI 48131

00-00-42-040-175-00
Village of Dundee
145 Riley St.
Dundee MI 48131

00-00-42-040-177-00
Leroy Meyer
225 Tecumseh
Dundee MI

00-00-42-040-178-00
Village of Dundee
145 Riley
Dundee MI 48131

00-00-42-040-179-00
Village of Dundee
145 Riley
Dundee MI 48131

00-00-42-040-193-00
Roe Insurance Agency
107 Riley St.
Dundee MI 48131

00-00-42-040-194-00
Paul Fitch
411 Tecumseh St
Dundee MI 48131

00-00-42-040-196-00
Gary Fink
705 Strawberry
Dundee MI 48131

00-00-42-040-197-00
Robert Cover
303 Tecumseh
Dundee MI 48131

00-00-42-040-199-00
Clifford Smith
505 John Anderson Ct. #59
Monroe MI 48161

00-00-42-040-208-00
David Wadsworth
336 Barnum
Dundee MI 48131

00-00-42-040-212-00
Harold Moon
4308 Washtenaw
Ann Arbor MI 48108

00-00-42-040-215-00
Micheal Spears
237 Toledo
Dundee MI 48131

00-00-42-040-216-00
Joseph Mast
2162 West Alexis
Toledo OH 43613

00-00-42-040-217-00
Great Western Capital Corporation
9401 Oakdale
Chatsworth CA 91311

00-00-42-040-229-00
Wm. Houttekier
1372 Laurelhurst
Temperance MI 48182

00-00-42-040-232-00
Gerald Risch
261 Tecumseh
Dundee MI 48131

00-00-42-040-237-00
Frank Breitner
17945 Albain Rd
Petersburg MI 49270

00-00-42-040-238-00
Great Western Capital Corporation
9401 Oakdale Ave
Chatsworth CA 91311

00-00-42-040-240-00
Log Cabin Laundromat
329 Monroe St.
Dundee MI 48131

00-00-42-040-248-00
Virgil Gensler
147 Ypsilanti
Dundee MI 48131

00-00-42-040-269-00
Myrtle Wakefield
337 Toledo St.
Dundee, MI 48131

00-00-42-040-275-00
Debbe Harris
152 E. Main St.
Dundee, MI 48131

00-00-42-040-276-00
Glen Hilgeneck
17194 Tecumseh Rd.
Dundee, MI 48131

00-00-42-040-277-00
Frank Furnari Sr.
665 Ruff Dr.
Monroe, MI 48161

00-00-42-040-289-00
John Britton
13733 S. Custer Rd.
Dundee, MI 48131

00-00-42-040-301-00
Wallace Graham
3186 Xenia St.
Denver, CO 80231

00-00-42-040-304-00
Keith Baranowski
150 Penfield St.
Dundee, MI 48131

00-00-42-040-321-00
Harold Moon
4308 Washtenaw
Ann Arbor, MI 48108

00-00-42-040-333-00
Mickey & Charlotte Freshour
125 Riley St.
Dundee, MI 48131

00-00-42-040-339-00
Larry Heck
245 Tecumseh St.
Dundee, MI 48131

00-00-42-040-348-00
John Perion
279 Tecumseh St.
Dundee, MI 48131

00-00-42-040-357-00
J. Glover
522 Tecumseh St.
Dundee, MI 48131

00-00-42-040-362-00
Tom's Body Shop
125 Main St.
Dundee, MI 48131

00-00-42-040-371-00
Wm Houttekier
1372 Laurelhurst
Temperance, MI 48182

00-00-42-040-379-00
Odd Fellows
17848 Cake Rd.
Dundee, MI 48131

00-00-42-040-382-00
Howard Haas
8517 Stephenson Rd.
Onsted, MI 49265

00-00-42-040-385-00
Taco Bell Corp
17901 Von Karman
Irvine, CA 92714

00-00-42-040-386-00
Clifford Meyer
519 Tecumseh St.
Dundee, MI 48131

00-00-42-040-387-00
Leroy Meyer
225 Tecumseh St.
Dundee, MI 48131

00-00-42-040-393-00
Roger Wheaton
115 Riley St.
Dundee, MI 48131

00-00-42-040-406-00
Charles Reifert
654 Maple St.
Dundee, MI 48131

00-00-42-040-408-00
Harold Moon
4308 Washtenaw
Ann Arbor, MI 48108

00-00-42-040-409-00
Harold Moon
4308 Washtenaw
Ann Arbor, MI 48108

00-00-42-040-410-00
Harold Moon
4308 Washtenaw
Ann Arbor, MI 48108

00-00-42-040-411-00
Dundee Township

Dundee, MI 48131

00-00-42-040-420-00
Emro Marketing Co.
539 S. Main St.
Findlay, OH 45840

00-00-42-040-420-00
CNL Income Fund
PO Box 510
Marion, OH 43302

00-00-42-040-421-00
Roland Frechette
6444 Telegraph Rd.
Erie, MI 48133

00-00-42-040-422-00
Carl Williams
180 Main St.
Dundee, MI 48131

00-00-42-040-429-00
Dundee DDA
145 Riley St.
Dundee, MI 48131

00-00-42-040-431-00
Lawrence Read
221 E. Lewis St.
Milan, MI 48160

00-00-42-040-433-00
NDB M.C. Bank
260 Tecumseh St.
Dundee, MI 48131

00-00-42-040-435-00
Harold Moon
4308 Washtenaw
Ann Arbor, MI 48108

00-00-42-040-442-00
Jack & Joan Cawood
497 Riley St.
Dundee, MI 48131

00-00-42-040-445-00
Iliene McCrea
271 Tecumseh St.
Dundee, MI 48131

00-00-42-040-451-00
Kathy Falls
14554 Grafton Rd.
Carelton, MI 48117

00-00-42-040-452-00
Annette Johnson
102 Tecumseh St.
Dundee, MI 48131

00-00-42-040-459-00
Duane Lynn
117 Van Nest St.
Dundee, MI 48131

00-00-42-040-464-00
David Grzesick
1715 Long Lake Rd.
Traverse City, MI 49684

00-00-42-040-482-00
Alice Eyler
271 Monroe St.
Dundee, MI 48131

00-00-42-040-487-00
Charles Westbrook
221 Elm St.
Dundee, MI 48131

00-00-42-040-502-00
Timothy Kuehnlien
2775 Bluebush Rd.
Monroe, MI 48161

00-00-42-040-514-00
Neil Remaklus
5821 N. Ann Arbor Rd. B100
Dundee, MI 48131

00-00-42-040-519-00
Stoney Creek Raditor
497 Riley St.
Dundee, MI 48131

00-00-42-040-550-00
McDonald's Corporation
PO Box 66207
Chicago, IL 60666

00-00-42-040-551-00
Taco Bell Corporation
17901 Von Karman
Irvine, CA 92714

00-00-42-040-554-00
William Hurley
419 Tecumseh St.
Dundee, MI 48131

00-00-42-040-570-00
Show To Go
2349 Wells Rd.
Dundee, MI 48131

00-00-42-040-611-00
Bruce Bezeau
1222 Maple St.
Monroe, MI 48161

00-00-42-040-618-00
Peter & Florence Hedwall
13751 S. Custer Rd.
Dundee, MI 48131

00-00-42-040-624-00
Monroe County Library
3700 S. Custer Rd.
Monroe, MI 48161

00-00-42-040-651-00
Carl Williams
180 Main St.
Dundee, MI 48131

00-00-42-040-661-00
Judy Labun
1760 N. Custer Rd.
Monroe, MI 48161

00-00-42-040-672-00
Lonny O'Lone
235 Tecumseh St.
Dundee, MI 48131

00-00-42-040-673-00
Frosty Freeze
209 Tecumseh St.
Monroe, MI 48161

00-00-42-040-680-00
Standard Federal Bank
2600 W. Big Beaver
Troy, MI 48084

00-00-42-040-682-00
Ronald Bodine Insurance
139 Main St.
Dundee, MI 48131

00-00-42-040-683-00
Juckette's
127 Barnum St.
Dundee, MI 48131

00-00-42-040-684-00
Juckette's
127 Barnum St.
Dundee, MI 48131

00-00-42-040-697-00
Harold Moon
4308 Washenaw
Ann Arbor, MI 48108

00-00-42-040-701-00
David Wadsworth
336 Barnum St.
Dundee, MI 48131

00-00-42-040-705-00
Robert Wiley
461 Tecumseh St.
Dundee, MI 48131

00-00-42-040-707-00
Robert Wiley
461 Tecumseh St.
Dundee, MI 48131

00-00-42-040-708-00
John Williams
300 Penfield St.
Dundee, MI 48131

00-00-42-040-715-00
Henry Willis
1352 Holmes Rd.
Ypsilanti, MI 48197

00-00-42-040-718-00
Robert Wiley
461 Tecumseh St.
Dundee, MI 48131

00-00-42-040-721-00
Francis Welch
1098 Lloyd Rd.
Dundee, MI 48131

00-00-42-040-724-00
TK Westbrook
957 Strawberry
Dundee, MI 48131

00-00-42-120-021-00
Michael Yeck
579 Tecumseh St.
Dundee, MI 48131

00-00-42-120-022-00
Selma Kneuve
3975 Andres Rd.
Petersburg, MI 49270

00-00-42-200-002-00
Amoco Oil
2211 York Rd.
Oak Brook, IL

00-00-42-200-003-00
Kevin Seegert
400 W. Monroe St.
Dundee, MI 48131

00-00-42-200-005-00
Boron Oil Co.
Midland Building
Cleveland, OH 44115

00-00-42-200-007-00
Log Cabin Laundromat
329 Monroe St.
Dundee, MI 48131

00-00-42-200-008-00
Buhl-Cover Funeral Home
303 Tecumseh St.
Dundee, MI 48131

00-00-42-200-013-00
Dale Cooley
568 Tecumseh St.
Dundee, MI 48131

00-00-42-200-014-00
Dundee Independent
106 Park Place
Dundee, MI 48131

00-00-42-200-016-00
Sweet Things Donut Shop
208 Tecumseh St.
Dundee, MI 48131

00-00-42-200-019-00
Deb's Frosty Freeze
209 Tecumseh St.
Dundee, MI 48131

00-00-42-200-020-00
Dundee Auto Parts
180 Main St.
Dundee, MI 48131

00-00-42-200-021-00
James Brewer
293 Monroe St.
Dundee, MI 48131

00-00-42-200-022-00
Dundee Bar
102 Tecumseh St.
Dundee, MI 48131

00-00-42-200-024-00
Larry Sanford
140 Ypsilanti St.
Dundee, MI 48131

00-00-42-200-027-00
Preston & Company
167 Tecumseh St.
Dundee, MI 48131

00-00-42-200-028-00
Show To Go
130 Tecumseh St.
Dundee, MI 48131

00-00-42-200-029-00
Steven-Con Inc.
735 Victors Way
Ann Arbor, MI 48108

00-00-42-200-032-00
Gazelle Graphic & Publishing
106 Park Place
Dundee, MI 48131

00-00-42-200-034-01
Dundee TV & Sales
177 Tecumseh
Dundee, MI 48131

00-00-42-200-036-00
Robert Wakefield
276 Tecumseh St.
Dundee, MI 48131

00-00-42-200-037-00
Comfort Inn
101 Outer Dr.
Dundee, MI 48131

00-00-42-200-043-00
Winery Supply Co.
208 Main St.
Dundee, MI 48131

00-00-42-200-050-00
Great American Restaurants
1125 Ellen Kay Dr.
Marion, OH 43302

00-00-42-200-052-00
Franco's Pizzeria
665 Ruff Dr.
Monroe, MI 48161

00-00-42-200-053-01
Claude Lockwood
168 Riley St.
Dundee, MI 48131

00-00-42-200-054-00
Emro Marketing Co.
539 S. Main St.
Findlay, OH 45840

00-00-42-200-058-01
Missler & Son Sportland
537 Tecumseh St.
Dundee, MI 48131

00-00-42-200-067-00
Gambles Store
126 Main St., PO Box 100
Dundee, MI 48131

00-00-42-200-068-00
V. L. Roe
107 Riley St.
Dundee, MI 48131

00-00-42-200-076-00
Charles Reifert
112 Tecumseh St.
Dundee, MI 48131

00-00-42-200-077-00
Wheaton Pharmacy
115 Riley St.
Dundee, MI 48131

00-00-42-200-082-00
Town Tavern
108 Tecumseh St.
Dundee, MI 48131

00-00-42-200-084-00
Village Gift Shop
120 Tecumseh St.
Dundee, MI 48131

00-00-42-200-087-00
Dr. Robert Wiley
461 Tecumseh St.
Dundee, MI 48131

00-00-42-200-088-00
Juckette's Service
127 Barnum St.
Dundee, MI 48131

00-00-42-200-090-00
Wilson & Meyer Hardware
143 Riley St.
Dundee, MI 48131

00-00-42-200-091-00
Yeck Antique Firearms Inc.
579 Tecumseh St.
Dundee, MI 48131

00-00-42-200-094-00
Yeck Manufacturing Company
579 Tecumseh St.
Dundee, MI 48131

00-00-42-200-105-00
Ronald Bodine Insurance
139 Main St.
Dundee, MI 48131

00-00-42-200-113-01
Grapevine
125 Riley St.
Dundee, MI 48131

00-00-42-200-114-00
Independent Dairy
126 N. Telegraph Rd.
Monroe, MI 48161

00-00-42-200-127-00
H & R Block
116 Tecumseh St.
Dundee, MI 48131

00-00-42-200-128-00
Larry Brossia Insurance
400 W. Monroe St.
Dundee, MI 48131

00-00-42-200-129-00
McDonald's Corporation
2350 E. Stadium, Ste. 11
Ann Arbor, MI 48104

00-00-42-200-130-00
Wendy Walters
3975 Andres Rd.
Petersburg, MI 49270

00-00-42-200-131-00
Mr. D's
102 Park Place
Dundee, MI 48131

00-00-42-200-133-00
H & R Block
3545 Washtenaw
Ann Arbor, MI 48104

00-00-42-200-134-00
Ready Sullivan & Ready
223 Tecumseh St.
Dundee, MI 48131

00-00-42-200-142-00
Hollant Buerk Enterprises, Inc.
1555 S. Nevada Ave.
Colorado Spgs, CO 80906

00-00-42-200-151-00
Sweat Shop
129 Riley St.
Dundee, MI 48131

00-00-42-200-158-00
Viking Barber Shop
103 Riley St.
Dundee, MI 48131

00-00-42-200-177-00
Tom's Body Shop
126 S. Main St.
Dundee, MI 48131

00-00-42-200-186-00
Mobil Admin Service Co.
PO Box 290
Dallas, TX 75221

00-00-42-200-201-00
Taco Bell
PO Box 96
Fair Lawn, NJ 07410

00-00-42-040-012-00
D & J AMOCO
568 Tecumseh Street
Dundee, MI 48131

00-00-42-040-083-00
Mobil Oil Company
602 Tecumseh Street
Dundee, MI 48131

00-00-42-040-149-00
Burger King
611 Tecumseh Street
Dundee, MI 48131

00-00-42-040-149-10
Burger King
611 Tecumseh Street
Dundee, MI 48131

00-00-42-040-217-00
Wendy's
549 Tecumseh Street
Dundee, MI 48131

00-00-42-040-238-00
Wendy's
549 Tecumseh Street
Dundee, MI 48131

00-00-42-040-385-00
Taco Bell
537 Tecumseh Street
Dundee, MI 48131

00-00-42-040-421-00
Comfort Inn
621 Tecumseh Street
Dundee, MI 48131

00-00-42-040-550-00
McDonald's
542 Tecumseh Street
Dundee, MI 48131

00-00-42-040-551-00
Taco Bell
537 Tecumseh Street
Dundee, MI 48131

00-00-42-200-002-00
D & J Amoco
568 Tecumseh Street
Dundee, MI 48131

00-00-42-200-037-00
Comfort Inn
621 Tecumseh Street
Dundee, MI 48131

00-00-42-200-050-00
Denny's
635 Tecumseh Street
Dundee, MI 48131

00-00-42-200-129-00
McDonald's
542 Tecumseh Street
Dundee, MI 48131

00-00-42-200-186-00
Mobil Oil
603 Tecumseh Street
Dundee, MI 48131

00-00-42-200-201-00
Taco Bell
537 Tecumseh Street
Dundee, MI 48131

Ronald Bodine
139 Main Street
Dundee, MI 48131

Joan Bonnette
509 Franklin St.
Dundee, MI 48131

Art Bronson
Post Office Box 154
Dundee, MI 48131

Pat Burtch
145 Riley Street
Dundee, MI 48131

Charlotte Freshour
745 Strawberry St.
Dundee, MI 48131

Kathy Reaume
540 Van Nest
Dundee, MI 48131

Doug Spaulding
483 Main St.
Dundee, MI 48131

Rebecca Wiley
Post Office Box 153
Dundee, MI 48131

John Williams
300 Penfield Street
Dundee, MI 48131

Vaughn Massingill
755 First Street
Dundee, MI 48131